

## ACTIVITY DETERMINATION

Project No. BGXPC

### Conflict of Interest<sup>1</sup>

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive, NSW Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive, NSW Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Name..... Emma Nicholson

Dated ..... 26/9/2022

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

### SITE IDENTIFICATION

#### STREET ADDRESS

Unit/Street No.

680-688 and 165

Street or property name

East Street and Alexandra Street

Suburb, town or locality

East Albury

Postcode

2640

Local Government Area(s)

Albury City

Real property description (Lot and DP)

Lots 11, 12, 13, 14 and 15 in Deposited Plan 243192.

### ACTIVITY DESCRIPTION

Provide a description of the activity

Construction of a new 24 unit General Housing residential flat building development comprising 10 x 2-bedroom and 14 x 1-bedroom units with associated landscaping and fencing, at-grade parking for 17 cars and consolidation of 5 lots into a single lot.

<sup>1</sup> Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

  
 Signed.....

 26/9/2022  
 Dated.....

 Emma Nicholson  
 A/Head of Policy and Innovation  
 Land and Housing Corporation

## SCHEDULE 1

### Recommended Identified Requirements

#### PART A – Standard identified requirements

##### THE DEVELOPMENT

*The following identified requirements are to ensure that the **residential** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021*

- The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Cover Sheet	DA00	8	07/03/2022	Brewster Murray Architects
Block Analysis	DA01	5	07/03/2022	Brewster Murray Architects
Site Analysis	DA02	6	07/03/2022	Brewster Murray Architects
Site Plan	DA04	10	07/03/2022	Brewster Murray Architects
Ground Floor Plan	DA05	8	07/03/2022	Brewster Murray Architects
First Floor Plan	DA06	8	07/03/2022	Brewster Murray Architects
Roof Plan	DA07	8	07/03/2022	Brewster Murray Architects
Elevations 1	DA08	10	07/03/2022	Brewster Murray Architects
Elevations 2 and Finishes	DA09	9	07/03/2022	Brewster Murray Architects
Elevations 3	DA10	9	07/03/2022	Brewster Murray Architects
Sections	DA11	6	07/03/2022	Brewster Murray Architects
Landscape Plan	LA01	D	14/03/2022	Precinct Landscapes
Landscape Details	LA02	B	14/03/2022	Precinct Landscapes
Civil Plans Notes and Legends	C01	5	26/11/2021	Greenview Consulting
Civil Plans Ground Floor Drainage	C02	5	26/11/2021	Greenview Consulting
Civil Plans Site Stormwater Details	C03	5	26/11/2021	Greenview Consulting
Civil Plans Notes and Legends	ESM1	3	26/11/2021	Greenview Consulting
Civil Plans Site Environmental Management Plan	ESM2	3	26/11/2021	Greenview Consulting
BASIX Certificate	1222974M_04	-	29/03/2022	Greenview Consulting
Arboricultural Impact Assessment and Tree Management Plan	-	-	05/04/2022	Wade Ryan Consulting

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

## **OPERATIONAL MATTERS**

*The following identified requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.*

### **Stormwater Run-off**

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the council for the area substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

### **Vehicular Access & Parking**

10. A concrete vehicular crossing(s) and layback(s) shall be provided at the entrance(s) / exit(s) to the property. The crossing(s) and layback(s) shall be constructed in accordance with the council for the area's standard requirements for residential crossings. Council shall be provided with plans for the crossing(s) and layback(s) together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback(s)/ driveway(s) shall be borne by the Land & Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with the council's standards.

*Note: It is recommended that discussions be held with the relevant authorities before construction works commence.*

12. Car parking spaces and driveway(s) shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

### **Site Works**

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

### **Building Siting**

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

### **Smoke Detection System(s)**

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
  - i. connected to a permanent 240V power supply; and
  - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

### **Site Soil Contamination**

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

### **Landscaping**

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. The council for the area shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Council and provide a copy to the Land & Housing Corporation.

### **Tree Removal**



20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arborist report and no other trees shall be removed without further approval(s).

### **Fencing**

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

### **Provision of Letterbox Facilities**

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

### **Public Liability Insurance**

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the construction works by the building contractor.

### **PRIOR TO ANY WORK COMMENCING ON THE SITE**

*The following identified requirements are to be complied with prior to any work commencing on the site.*

### **Long Service Levy**

- ~~24. The long service levy shall be paid by the Land & Housing Corporation to the Long Service Payments Corporation in accordance with the Building & Construction Industry Long Service Payments Act 1986 prior to the commencement of any building and construction works.~~

*Note:*

~~Where approval has been granted for development by a Crown body other than a council, the amount payable is 0.35% of the contract inclusive of GST.~~

### **Service Authority Clearances**

25. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. the local council for the area, Hunter Water or Sydney Water), confirming service availability prior to work commencing.

**Note:**

*Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.*

26. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
27. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.

28. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

### **Utilities Service Provider Notification**

29. The construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

**Note:**

*If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.*

### **Disconnection of Services**

30. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
31. All existing services within the boundary to remain live shall be identified, pegged and made safe.

### **Stormwater Disposal**

32. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (eg the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or the council for the area's drainage code.
33. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

### **Council Notification**

34. The council for the area shall be advised by the building contractor in writing, of the date it is intended to commence work. A minimum period of five (5) working days notification shall be given.

### **Landfill**

35. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
36. Land fill materials must satisfy the following requirements:

- i. Shall be Virgin Excavated Natural Matter (VENM);
- ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radioactive matter; and
- iii. Shall be free of industrial waste and building debris.

### Site Facilities

37. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the council for the area or if this is also not practicable to some other council approved management facility.
  - (b) Adequate refuse disposal methods and builders' storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
38. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

### Site Safety

39. A sign shall be erected in a prominent position on the site:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
  - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
  - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

*Note:*

*This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.*

40. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when construction work is not in progress or the site is otherwise unoccupied.

**Note:**

*Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.*

41. Building materials shall not be stored on the council for the area's footpath or roadway.

### Protection of Trees

42. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the arborist report.

## **Waste Management**

43. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

## **DURING CONSTRUCTION**

*The following identified requirements are to be complied with whilst works are occurring on the site.*

## **Heritage**

44. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted, or if Indigenous items have been uncovered, the Department of Environment, Energy and Science shall be contacted.
45. All workers / contractors on the site shall be informed of their obligations, under the *Heritage Act* and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Coordinator-General of the Department of Environment, Energy and Science.

## **Survey Reports**

46. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

## **Hours of Construction / Civil Work**

47. Construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays and public holidays.

## **Excavation & Backfilling**

48. All excavations and backfilling associated with the erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

## **Pollution Control**

49. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the Department of Environment and Climate Change (now Department of Environment, Energy and Science).
50. No fires shall be lit, or waste materials burnt, on the site.
51. No washing of concrete forms or trucks shall occur on the site.

52. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
53. Dust generation during construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
54. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
55. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

### **Impact of Construction Works**

56. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
57. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to construction works, damage is caused to such adjoining property.

### **PRIOR TO OCCUPATION OF THE DEVELOPMENT**

*The following identified requirements are to be complied with prior to the occupation of the development.*

#### **General**

58. The occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

#### **Termite Protection**

59. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

#### **Council Infrastructure Damage**

60. The cost of repairing any damage caused to the council for the area's assets in the vicinity of the site as a result of construction works shall be met in full by the building contractor.

#### **Stormwater Drainage**

61. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
- sufficient levels and dimensions to verify the constructed storage volumes; and
  - location and surface levels of all pits; and
  - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
  - finished floor levels of all structures; and
  - verification that any required trash screens have been installed; and
  - locations and levels of any overland flow paths; and
  - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the council for the area's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and the council for the area.

## **PART B – Additional identified requirements**

### **Site Specific Requirements**

62. Parking space No.10 is to be redesigned to satisfy the requirements of AS4299. This is to be re-assessed and confirmed compliant by a suitably qualified Access Consultant.
63. Footings to be founded in natural soils below any topsoil or fill, in accordance with the recommendations and requirements set out in the Geotechnical Investigation Report 21/0682 prepared by STS GeoEnvironmental dated March 2021.
64. Adequate glazing systems which meet the acoustic requirements as recommended in the SLR Consulting Report AS 2021 *Aircraft Noise Intrusion Assessment* dated April 2022 are required to be confirmed during the detailed design phase and correctly installed and certified by the builder during construction.
65. Amended stormwater drainage plans are to be prepared prior to construction to confirm the invert levels and outlet pipe details of the proposed rainwater storage tank.

### **Requirements resulting from council comments**

66. 6 new street trees will be planted by Albury City Council and will be paid for by the developer prior to the commencement of work. Prior to removing the Council street tree (Claret Ash *Fraxinus Oxycarpus* 'Raywoodii' – Asset ID 18247), the developer is to pay a fee of \$560 per tree to Albury City for the purchase, planting and establishment of 6 advanced replacement street trees (\$3,360 total), White Ash (*Fraxinus americana*).
67. Additional planting is recommended within the north-west corner of the car park to improve shading of the car park. The planting species, quantities and location are to be confirmed with the landscape architect in consultation with the relevant council officer to ensure there is no conflict with existing sewer infrastructure.

68. Update Eastern Elevation (nearest to the driveway on Alexandra Street) to include the same FB-3 brickwork façade treatment as the Southern Elevation (Driveway from East St).

**Requirements as requested by public authorities other than councils**

69. Nil requirements

**Requirements resulting from adjoining occupier comments**

70. Nil requirements

**Specific service / utility agency requirements**

71. Nil requirements

**ADVISORY NOTES**

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at [www.1100.com.au](http://www.1100.com.au) or by dialling 1100.









PHOTO 3 - CNR EAST STREET & ALEXANDRA STREET



NOMINATED ARCHITECT:	SIGNATURE:	5	07-03-22	REVISED FOR HOUSING SEPP
MICHAEL BULLEN		4	15-09-21	ISSUE FOR PART 5
		3	24-08-21	FOR CO-ORDINATION
		2	19-07-21	FOR INFORMATION
		1	02-07-21	FOR COMMENT
		REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				

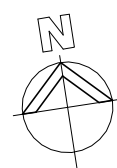
TITLE
BLOCK ANALYSIS
FILE

STATUS			
<b>SKETCH DESIGN</b>			
DATE	SCALE	PROJ	PROJECT No
07-03-22	AS NOTED	MB	<b>BGXPC</b>
STAGE	SHEET SIZE	DESIGNER	CHECKED
SK	A1	AG	MB
TYPE	SHEET		REV
	DA01		5

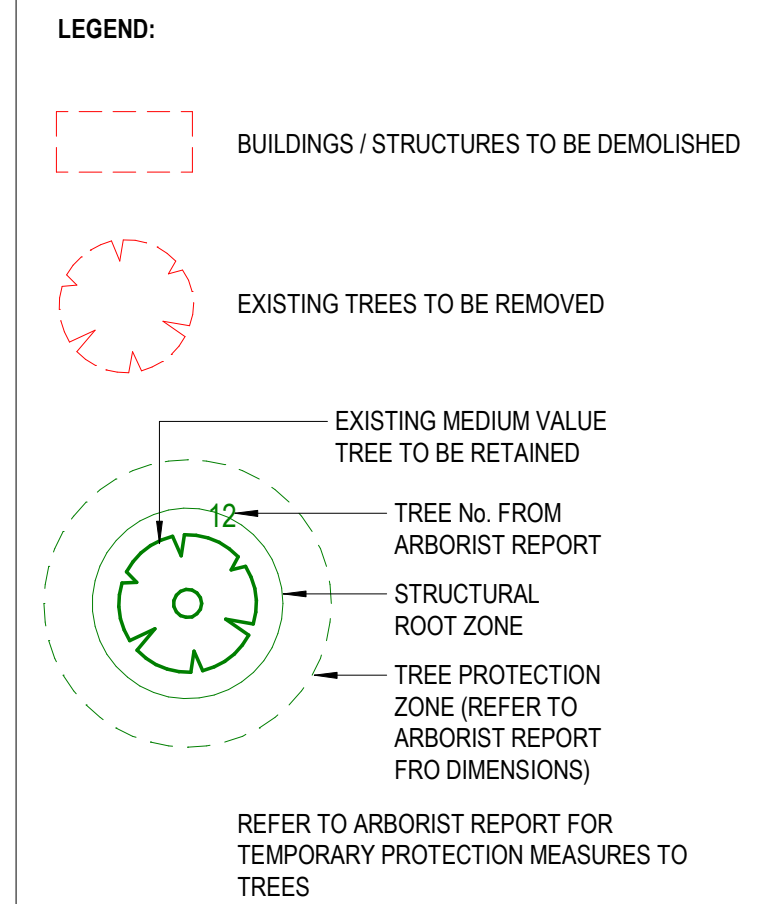








Heidi



1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS INCLUDING AS2601 (2001 + AS AMENDED) THE DEMOLITION OF STRUCTURES, CODES AND LOCAL AUTHORITY REQUIREMENTS.
2. ALL EXISTING SERVICES ON & ADJACENT TO THE SITE TO BE VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. COUNCIL EXISTING LOCATION OF SERVICES WITH 'DIAL BEFORE YOU DIG'.
3. PROVIDE TEMPORARY FENCING AND STAGING FOR SAFETY AND SECURITY. PROVIDE LOCKABLE GATES FOR THE FULL DURATION OF CONSTRUCTION WORK UNTIL HAND OVER. FENCE SPECIFICATION TO BE IN ACCORDANCE WITH COUNCIL AND WH&S STANDARDS. PROVIDE SIGNAGE TO COMPLY WITH COUNCIL REQUIREMENTS.
4. REFER TO LAHC REFERENCE SPECIFICATION FOR HOUSING CONSTRUCTION, SECTIONS 3 (BUT NOT LIMITED TO); PRELIMINARIES & 01-DEMOLITION
5. DEMOLISH AND REMOVE FROM SITE STRUCTURES AS NOTED. MATERIALS ON SITE, INCLUDING ALL BUILDING STRUCTURES UNDERGROUND AND ANY UNDERGROUND INSPECTION AND PITS AND THEIR ASSOCIATED SERVICES LINES. MAKE SAFE ALL SERVICES.
6. ALLOW FOR ALL REMOVAL OF ALL ASBESTOS AND ANY HAZARDOUS MATERIALS ON SITE. DISPOSE HAZARDOUS MATERIAL IN ACCORDANCE WITH EPA AND LOCAL COUNCIL'S REQUIREMENT. PAY FOR FEES ASSOCIATED WITH REMOVAL & DISPOSAL OF WASTE.
7. DEMOLISH & REMOVE FENCES AS NOTED BUT NOT LIMITED TO: WATER TANKS, SEPTIC TANKS, CLOTHES LINES, BBQ & ASSOCIATED AREAS, LANDSCAPING, DECKS, STAIRS, ANTENNAS, PONDS & ASSOCIATED SERVICES & EQUIPMENT.
8. TERMINATE, CAP OFF OR DIVERT OF ALL EXISTING SERVICES WHERE SO REQUIRED AND/OR ARE NECESSARY TO CARRY OUT NEW WORKS. PERFORM ALL WORKS IN BEST TRADESMAN-LIKE MANNER AND TO THE SATISFACTION OF RELEVANT AUTHORITIES.
9. ALL EXISTING STORMWATER & SEWERAGE DRAIN CONNECTIONS TO EXISTING MAINS TO BE CAPPED
10. WHOLE SITE TO BE MADE SECURE BY SUITABLE METAL FENCING/ HOARDINGS TO PREVENT ANY UNAUTHORISED ACCESS. SITE SECURITY AND SAFETY TO BE UNDERTAKEN BY BUILDING CONTRACTOR.
11. REMOVE ALL SPOIL & DEMOLISHED MATERIAL FROM SITE.
12. DISCONNECT ALL EXISTING ON SITE SERVICES TO THE SITE BOUNDARIES CLEAR OF WORKS. MAKE SAFE TO AUTHORITIES REQUIREMENTS.
13. ALL TREES SHOWN DOTTED TO BE REMOVED. ALL OTHER EXISTING TREES DOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION WORK IN ACCORDANCE WITH ARBORIST AND COUNCIL'S RECOMMENDATION. REFER TO LANDSCAPE DESIGN FOR ADDITIONAL INFORMATION.
14. CLEAR THE SITE OF ALL VEGETATION AND TOPSOIL, LEFT BEHIND MATERIALS, SPOIL, ETC
15. DEMOLISH EXISTING CROSSINGS & REPLACE WITH KERB & GUTTER TO COUNCIL'S REQUIREMENTS. MAKE GOOD TO SURROUNDS WHERE DISTURBED BY NEW WORKS TO COUNCIL ENGINEER'S SPECIFICATION. OBTAIN ALL COUNCIL APPROVALS AND PAY ALL AUTHORITIES' FEES / BONDS.
16. ALL DIMENSIONS SHOWN IN METRES
17. REFER TO DA14 SHOWING ELEVATIONS OF PROPOSED DEMOLISHED DWELLINGS AND REMOVAL OF ONE STREET TREE.



# 1 DEMOLITION PLAN



NOMINATED ARCHITECT:	SIGNATURE:	5	07-03-22	REVISED FOR HOUSING SEPP
MICHAEL BULLEN		4	28-10-21	REVISED FOR PART 5
		3	15-09-21	ISSUE FOR PART 5
		2	19-07-21	FOR INFORMATION
		1	02-07-21	FOR COMMENT
	REV	DATE	NOTATION/AMENDMENT	
	DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.			
	FIGURE DIMENSIONS TAKE PRECEDENCE.			

CONSULTING ENGINEERS
GREENVIEW CONSULTING PTY LTD
LANDSCAPE CONSULTANT
PRECINCT LANDSCAPES

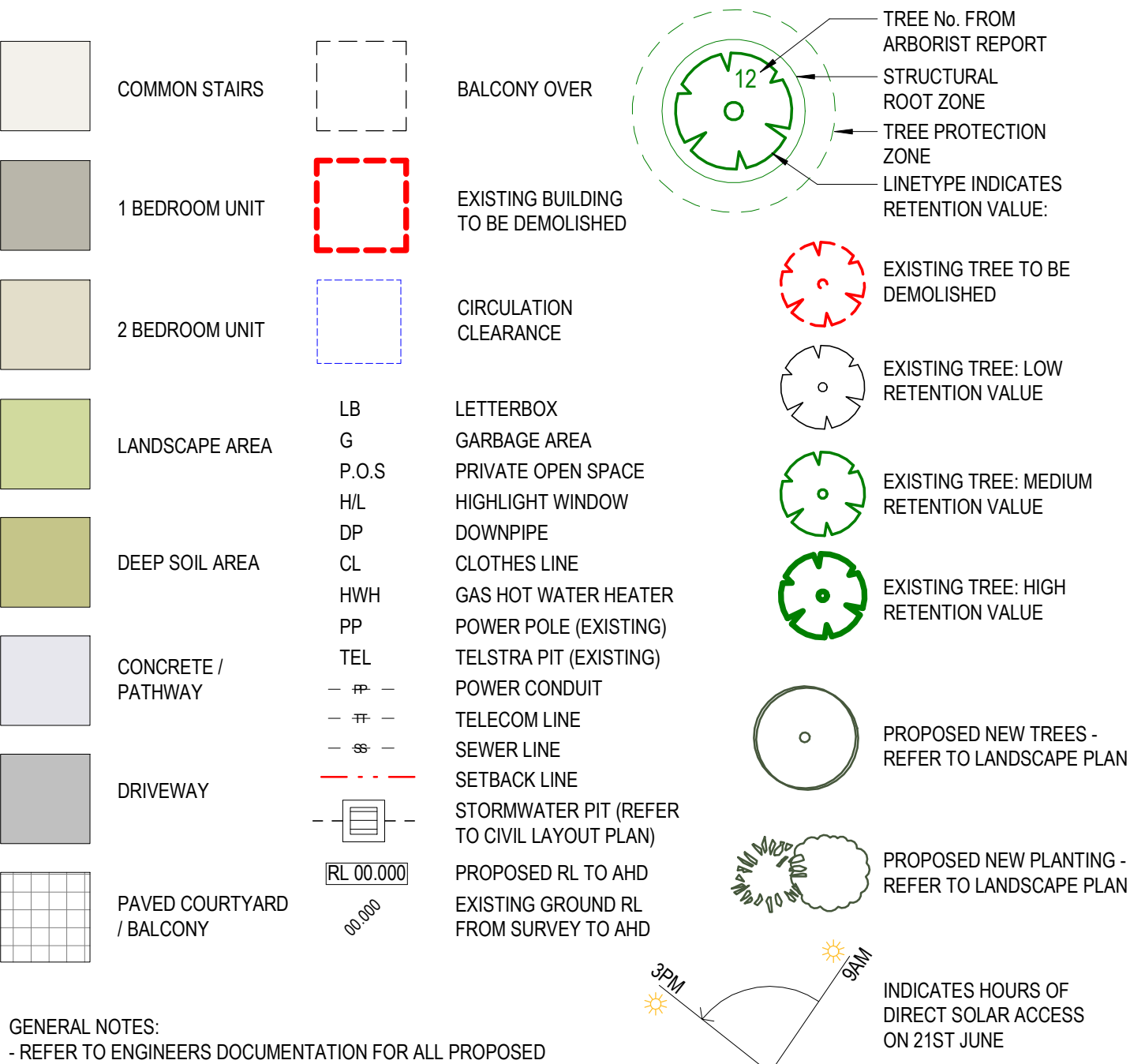
**PROJECT**  
**DEVELOPMENT OF 24 UNITS UNDER SEPP**  
**HOUSING 2021**  
680, 682, 684 & 688 East Street & 165 Alexandra  
Street, East Albury, NSW  
LOTS 11, 12, 13, 14 & 15 in DP 243192

FILE	
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DATE 07-03-22	SCALE As	PROJ MB	PROJECT No <b>BGXPC</b>
STAGE SK	Scale indicated A1	DESIGNER AG	CHECKED MB
TYPE	SHEET DA03		REV 5



**LEGEND:**



GENERAL NOTES:

- REFER TO ENGINEERS DOCUMENTATION FOR ALL PROPOSED SERVICES.
- REFER SURVEY DOCUMENTATION FOR ALL EXISTING SERVICES.
- ALL SLOPE ARROWS SHOW SLOPE UP UNLESS ANNOTATED 'FALL'.
- FEN-1 TYPICAL HEIGHT 1.8m
- FEN-2 TYPICAL HEIGHT 1.2m
- FEN-3 TYPICAL HEIGHT 1.2m

DEEP SOIL ZONES CALCULATION:  
 DSZ1 - 344m<sup>2</sup> (AT REAR, 10% OF SITE AREA)  
 DSZ2 - 33m<sup>2</sup>  
 DSZ3 - 51m<sup>2</sup>  
 DSZ3 - 185m<sup>2</sup>  
 DSZ5 - 58m<sup>2</sup>  
 TOTAL = 671m<sup>2</sup>

TREE SPECIES NAMES:

TREE 1	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 2	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 3	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 4	CALLISTEMON SPECIOSUS (BOTTLE BRUSH)
TREE 5	EUCALYPTUS MANNIFFERA (BITTLE GUM)
TREE 6	LIGUSTRUM LUCIDUM (PRIVET)
TREE 7	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 8	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 9	LIGUSTRUM LUCIDUM (PRIVET)
TREE 10	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 11	ACER NEGUNDO (BOX ELDER)
TREE 12	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 13	EUCALYPTUS BLAKELYI REDGUM
TREE 14	CUPRESSUS ARIZONICA (ARIZONA CYPRESS)
TREE 15	FRAXINUS RAYMOND CLARET ASH
TREE 16	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH
TREE 17	FRAXINUS EXCELSIOR (DESERT) EUROPEAN ASH



DETERMINED by the New South Wales Land & Housing Corporation on:

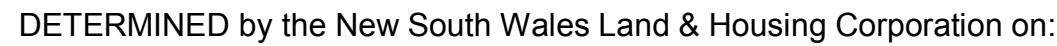
26/9/2022



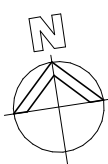
NOMINATED ARCHITECT:	SIGNATURE:	10	07-03-22	REVISED FOR HOUSING SEPP	ARCHITECT	CONSULTING ENGINEERS	CLIENT	PROJECT	TITLE	STATUS	SKETCH DESIGN			
MICHAEL BULLEN		9	05-11-21	REVISED FOR PART 5	BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD	NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION	DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021	SITE PLAN	DATE*	SCALE	PROJ	PROJECT NO	
		8	29-10-21	REVISED FOR PART 5						07-03-22	1:200	MB	BGXPc	
		7	15-09-21	ISSUE FOR PART 5										
		6	03-09-21	FOR CO-ORDINATION										
		REV	DATE	NOTATION/AMENDMENT	BCA CONSULTANT	LANDSCAPE CONSULTANT						CHECKED	DRAWN	
					CODE CONDUIT							SK	A1	AG
		DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.					PRECINCT LANDSCAPES	680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW	FILE	PLOTTED	TYPE	SHEET	REV	
								LOTS 11, 12, 13, 14 & 15 in DP 243192				DA04	10	



NOTES:			
1. FULL BRICK CONSTRUCTION TO GROUND		LB	LETTERBOX
FLOOR + FIRST FLOOR INCLUDING FULL HT		G	GARBAGE AREA
OF PARTY WALLS. ALL INTERNAL WALLS TO		P.O.S	PRIVATE OPEN SPACE
BE LINED WITH PLASTERBOARD EXCEPT		HL	HIGHLIGHT WINDOW/
STAIRWAYS & BATH LAUNDRIES TO BE		DP	DOWNPIPE
RENDERED.		CL	CLOTHES LINE
FIRE SAFETY MEASURES:		B	BROOM CUPBOARD
EXISTING SERVICES		L	LINEN
• STREET HYDRANTS PROVIDE		KS	KITCHEN SINK
COVERAGE IN ACCORDANCE WITH		CT	COOKTOP
NCC(2019) E1.3		P	PANTRY
PROPOSED SERVICES		F	FRIDGE
• PORTABLE FIRE EXTINGUISHERS TO		WO	WALL OVEN
BE IN ACCORDANCE WITH NCC(2019)		HHW	GAS HOT WATER HEATER
E1.6			
• EMERGENCY LIGHTING TO BE IN			
ACCORDANCE WITH NCC(2019) E4.2			
• EXIT SIGNS TO BE IN ACCORDANCE			
WITH NCC (2019) E4.5			
• DIRECTIONAL SIGNS TO BE IN			
ACCORDANCE WITH NCC(2019) E4.6			
• SMOKE DETECTOR TO BE IN			
ACCORDANCE WITH NCC(2019) E2.2			
• LIFT-OFF HINGES TO BE PROVIDED			
TO ADAPTABLE UNIT BATHROOM			
DOORS			



1 GROUND FLOOR PLAN  
SCALE 1:200 MM

[illegible]







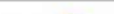
DP	DOWNPIPE
G1 / G2	COLORBOND GUTTER
MR1 / MR2	COLORBOND METAL DECK ROOF WITH SARKING/ INSULATION UNDER
BG1	BALCONY BOX GUTTER
LVR1	ALUMINIUM LOUVRE
SS1 / SS2	SUN SHADE

NOTE:  
REFER TO FINISHES SCHEDULE FOR MATERIALS

Heck

26/9/2022

NATHERS Thermal Performance Specification - East Albury			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	R0.7	Med - SA 0.475 - 0.70 Dark - SA > 0.70	As per the Elevations, except below
Cavity Brick	R1.5	Med - SA 0.475 - 0.70	Entry stairs & Level 1 stairs in <b>U17</b>
SA - Solar Absorbance			
Internal Walls			
Wall Type	Insulation	Comments	
Single Skin Brick	None	Internally in units	
Cavity Brick + plasterboard	None	Party walls between units	
Cavity Brick + plasterboard	None	Party walls between units and corridor/stairs/lobbies	
Floors			
Floor Type	Insulation	Comments	
Concrete slab on ground	None	Ground level	
Concrete	None	Level 1	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	R2.5	All exposed ceiling throughout except below	
Plasterboard	R3.5	Exposed ceiling of <b>U17 &amp; U23</b>	
Insulation loss due to downlights has <u>not</u> been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foiled-face blanket	Light - SA < 0.475	All exposed roof throughout
SA - Solar Absorbance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed: <b>All except U1, 4, 6, 11 &amp; 17</b>	6.7	0.70	e.g. single glazed clear Aluminium frame
Awning + Glazed door: <b>All except U1, 4, 6, 11 &amp; 17</b>	6.7	0.57	e.g. single glazed clear Aluminium frame
Sliding + Fixed: <b>U1, 4, 6, 11 &amp; 17</b>	4.3	0.53	e.g. single glazed clear ComfortPlus/Low-e Aluminium frame
Awning + Glazed door: <b>U1, 4, 6, 11 &amp; 17</b>	4.3	0.47	e.g. single glazed clear ComfortPlus/Low-e Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value $\pm$ 10% of the above specified values.			
Skytubes			
Skytube Type	Frame Type		Comments
Fixed	Timber & Aluminium		0.25m in: U14-16 & 19-24
Ceiling fans			
Size	Location		Comments
min 1200mm in diameter	All bedrooms & Kitchen/Living		na

<b>Certificate Prepared by</b>  <b>greenview</b> CONSULTING		Greenview Consulting Pty Ltd ABN: 3260067338 Email: dean@greenview.net.au Phone: 0404 649 762
--	--	---

0006623370 01 Dec 2021

**Assessor** Dean Gorman  
**Accreditation No.** DMN/13/1645

**Address**  
680, 682, 684 688 East Street  
165 Alexandra Street, East  
Albury , NSW, 2640

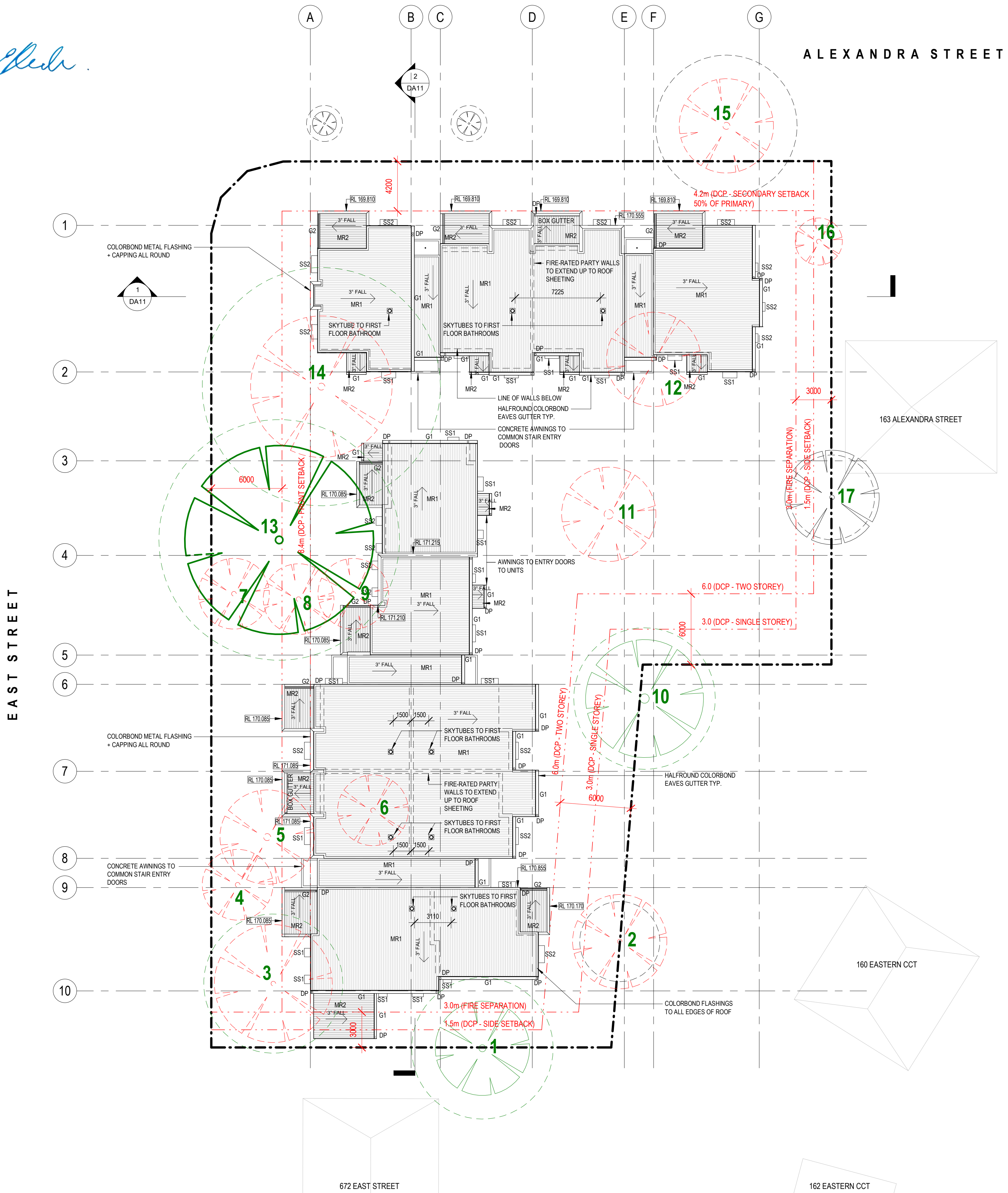


**6.5**  
**Average star rating**

**NATIONWIDE HOUSE**  
ENERGY RATING SCHEME

[www.nathers.gov.au](http://www.nathers.gov.au)

[hstar.com.au](http://hstar.com.au)



1 ROOF PLAN  
SCALE 1 : 200 MM



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K:\100 - PROJECT\2021\21-6255 - LAHC - East St & Alexandra St East Albury\04 - Drawings\03 - DA\21-6255 East St & Alexandra St East Albury detached DA\_PenS.rvt

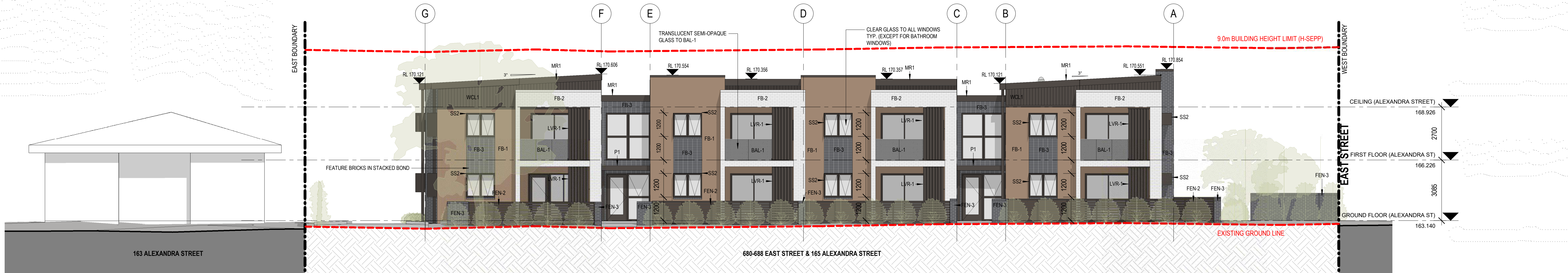
DETERMINED by the New South Wales Land & Housing Corporation on: *Chish*

26/9/2022



6.5  
Average  
star rating

Assessor: Dean Gorman  
Accreditation No. DMN13/1645  
Address:  
680, 682, 684 & 688 East Street  
165 Alexandra Street, East  
Albury, NSW, 2640  
www.nsw.gov.au  
hstar.com.au



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www.dpie.nsw.gov.au/land-and-housing-corporation

NOMINATED ARCHITECT:	SIGNATURE:	10 07-03-22 REVISED FOR HOUSING SEPP
MICHAEL BULLEN		9 07-03-22 REVISED FOR HOUSING SEPP
		8 29-10-21 REVISED FOR PART 5
		7 15-09-21 ISSUE FOR PART 5
		6 03-09-21 FOR CO-ORDINATION
REV	DATE	NOTATION/AMENDMENT
		DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
		FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT	BREWSTER MURRAY PTY LTD
BCA CONSULTANT	
CODE CONDUIT	

CONSULTING ENGINEERS	GREENVIEW CONSULTING PTY LTD
LANDSCAPE CONSULTANT	PRECINCT LANDSCAPES

CLIENT  
NSW PLANNING & ENVIRONMENT  
LAND & HOUSING CORPORATION

PROJECT  
DEVELOPMENT OF 24 UNITS UNDER SEPP  
HOUSING 2021  
680, 682, 684 & 688 East Street & 165 Alexandra  
Street, East Albury, NSW  
LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE  
ELEVATIONS 1

STATUS	SKETCH DESIGN	PROJECT NO	BGXPC
DATE	07-03-22	SCALE	MB
STAGE	SK	SHEET SIZE	AG
TYPE	A1	DESIGNER	MB
		DA08	10



Chick




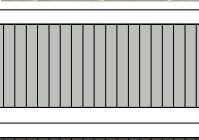

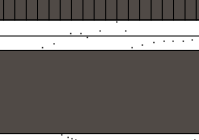


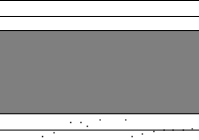
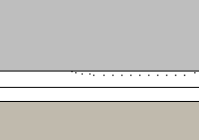




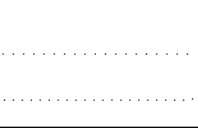

DETERMINED by the New South Wales Land & Housing Corporation on:

26/9/2022



1 EAST ELEVATION (REAR OF EAST STREET UNITS)

SCALE 1: 100 MM

EXTERIOR FINISHES			
CODE	MATERIAL	DESCRIPTION	FINISH
FB-1		FACE BRICK	BROWN WITH NATURAL VARIATION
FB-2		BALCONY WALLS	WHITE
FB-3		FEATURE BRICK	DARK GREY
MR1		MAIN METAL ROOFS	COLORBOND SHALE GREY (OR SIMILAR)
MR2		SECONDARY METAL ROOFS	COLORBOND WOODLAND GREY (OR SIMILAR)
WCL1		PREFINISHED METAL WEATHERBOARD-LOOK CLADDING	COLORBOND WOODLAND GREY (OR SIMILAR)
G, DP, LVR-1		GUTTERS, DOWNPIPES, METAL FLASHINGS, ALUMINIUM PRIVACY LOUVRES	COLORBOND WOODLAND GREY (OR SIMILAR)
WF, DF, SS1, SS2		ALUMINIUM WINDOW FRAMES, DOOR FRAMES, SUN SHADES	TO MATCH COLORBOND WOODLAND GREY (OR SIMILAR)
P1		PAINT FINISH TO STAIR LOBBY CONCRETE AWNINGS	TO MATCH COLORBOND WOODLAND GREY (OR SIMILAR)
BAL-1		GLASS BALUSTRADES	GREY SEMI-OPAQUE
CC-1		CONCRETE DRIVEWAYS	COLOURED CONCRETE DARK GREY
CONC		CONCRETE COURTYARDS, PATHWAYS	NATURAL GREY CONCRETE
FT1		EXTERIOR NON-SLIP FLOOR TILES	SANDY GREY
FEN-1		COLORBOND METAL FENCING TO BOUNDARIES SOLID PANELS 1.8m HT	COLORBOND SHALE GREY (OR SIMILAR)
FEN-2		SLATTED PRIVACY FENCING	COLORBOND WOODLAND GREY (OR SIMILAR)
FEN-3		BRICK PIERS, GARBAGE AREA WALLS	DARK GREY

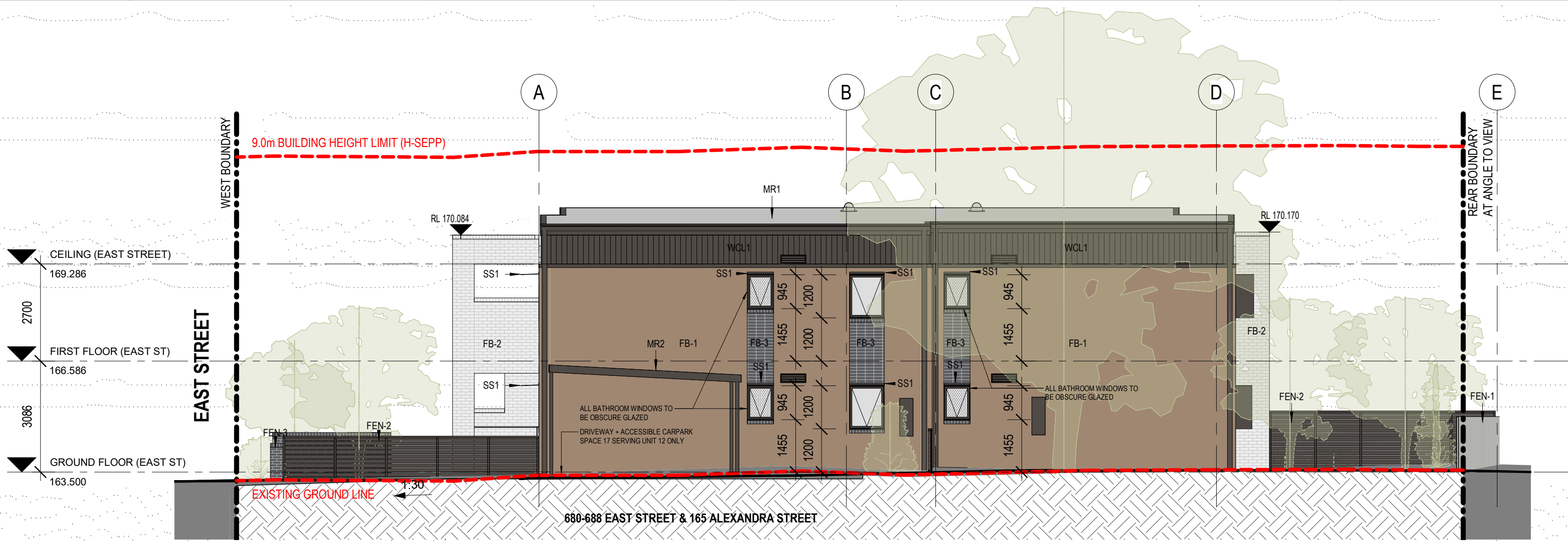
INTERIOR FINISHES		
MATERIAL	DESCRIPTION	FINISH
FLOOR TILE	LIVING, DINING, KITCHEN	LARGE FORMAT NON-SLIP SELECTED FLOOR TILE
FLOOR TILE	BATHROOMS, LAUNDRY	NON-SLIP SELECTED CERAMIC FLOOR TILE
CARPET	BEDROOMS	SELECTED CARPET
FLOOR TILE	LOBBIES/ STAIRS	NON-SLIP SELECTED TILE
WALLS	RENDER OVER MASONRY (STAIRS), 10mm IMPACT PLASTERBOARD OVER MASONRY / 13mm IMPACT PLASTERBOARD OVER STUD WALL	PAINTED
CEILING	GROUND FLOOR SUSPENDED 13mm PLASTERBOARD / FIRST FLOOR 13mm PLASTERBOARD	PAINTED



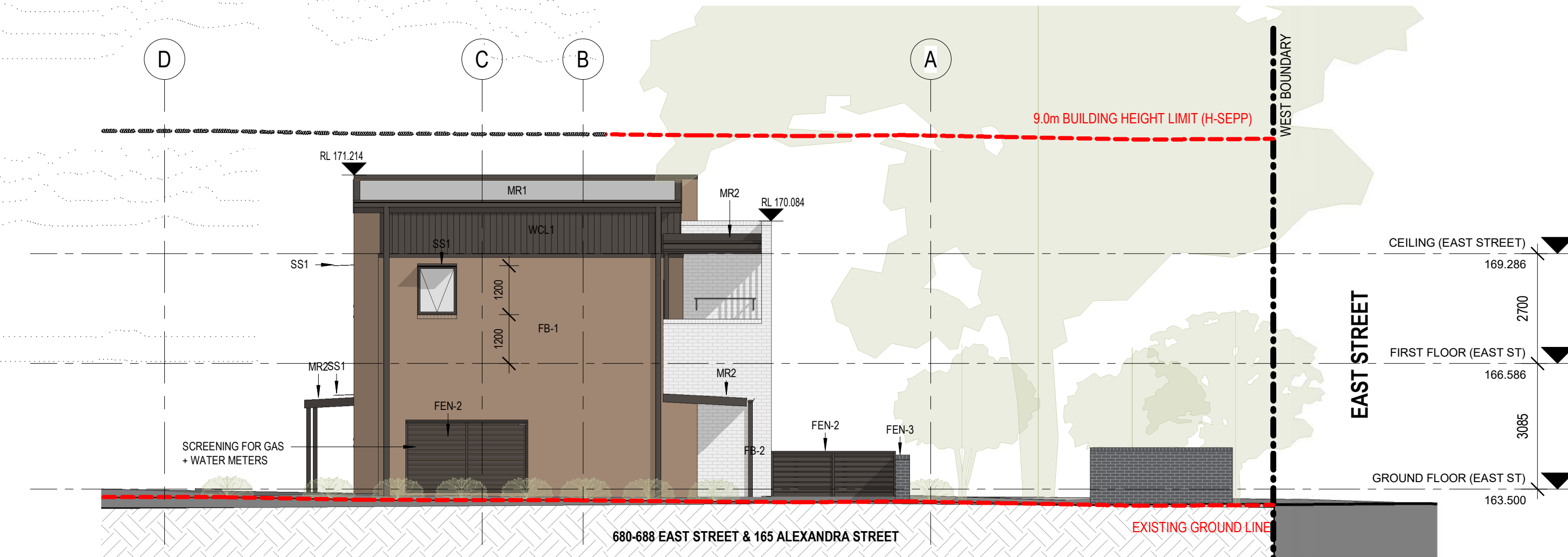
DETERMINED by the New South Wales Land & Housing Corporation on:

*Chubb*

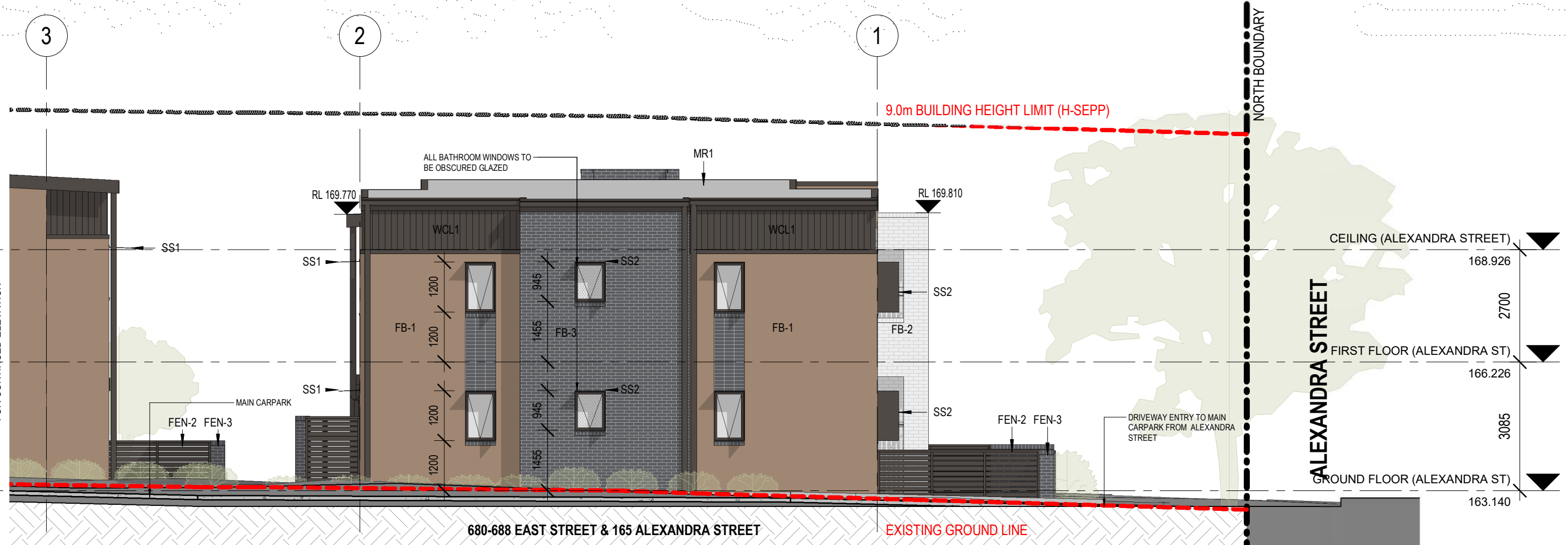
26/9/2022



1 SOUTH ELEVATION (DRIVEWAY FROM EAST STREET)  
SCALE 1 : 100 MM



2 NORTH ELEVATION (UNIT 17 STAIR)  
SCALE 1 : 100 MM



3 EAST ELEVATION (DRIVEWAY FROM ALEXANDRA STREET)  
SCALE 1 : 100 MM



4 SOUTH ELEVATION (REAR OF ALEXANDRA STREET UNITS)  
SCALE 1 : 100 MM



K:\1100 - PROJECT\2021\21-4255 - LABC - East St & Alexandra St East Albany\04 - Drawings\03 - DA\21-4255 East St - Alexandra St East Albany\_detached\_DA\_Plan.rvt

*Chubb*

26/9/2022

DETERMINED by the New South Wales Land & Housing Corporation on:



6.5  
Average  
star rating

0006623370 01 Dec 2021

Assessor: Dean Gorman  
Accreditation No: DMV13/1645

Address:  
680, 682, 684 & 688 East Street  
165 Alexandra Street, East  
Albury, NSW, 2640

www.natshs.gov.au

hstar.com.au



1 SECTION 1  
SCALE 1 : 100 MM



2 SECTION 2  
SCALE 1 : 100 MM

 <div>LOCKED BAG 5022 PARRAMATTA NSW 2124 Ph 1800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation</div>	NOMINATED ARCHITECT:		SIGNATURE:	6	07-03-22	REVISED FOR HOUSING SEPP	ARCHITECT BREWSTER MURRAY PTY LTD	CONSULTING ENGINEERS GREENVIEW CONSULTING PTY LTD	CLIENT NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION	PROJECT DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021	TITLE SECTIONS	STATUS SKETCH DESIGN				
	MICHAEL BULLEN			5	29-10-21	REVISED FOR PART 5						DATE 07-03-22	SCALE 1 : 100	PROJ MB	PROJECT No BGXPC	
				4	15-09-21	ISSUE FOR PART 5						STAGE SK	SHEET SIZE A1	DESIGNER AG	DESIGNED MB	
				3	24-08-21	FOR CO-ORDINATION						FILE	PLOTTED	TYPE	REV	
				2	19-07-21	FOR INFORMATION								DA11		6
				REV	DATE	NOTATION/AMENDMENT										
						DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.	BCA CONSULTANT CODE CONDUIT	LANDSCAPE CONSULTANT PRECINCT LANDSCAPES	680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW LOTS 11, 12, 13, 14 & 15 in DP 243192							



DETERMINED by the New South Wales Land & Housing Corporation on:

26/9/2022

OX) 

AREA OF FILL UNDER BUILDING (APPROX)

AREA OF FILL (APPROX)

AREA OF CUT (APPROX)

OUTLINE OF BUILDING SLABS

EXISTING BUILDINGS TO BE DEMOLISHED

EXISTING TREES TO BE DEMOLISHED

00 — TREE NUMBER FROM ARBORIST REPORT

EXISTING TREES TO REMAIN

— . — SW DRAINAGE (REFER TO CIVIL PLAN)

SWP  STORMWATER PIT

U/S 00.000 PROPOSED UNDERSIDE OF SLAB LEVEL (APPROX)

RL 00.000 PROPOSED FINISH GROUND RL (APPROX)

EXISTING GROUND LEVELS (FROM SURVEY)

NOTES:

1. BUILDER TO VERIFY ALL PROPOSED LEVELS FOR EXCAVATION ALL SURVEY INFORMATION, INCLUDING SERVICES AND LEVELS AND MAKE ADJUSTMENTS TO SUIT FINISHED REDUCED LEVELS PRIOR TO EXCAVATION COMMENCING
2. BUILDER TO VERIFY ALL ABOVE GROUND / INGROUND POND, POOLS, WATER TANKS & SEPTIC TANKS ON SITE. AFTER DEMOLITION & REMOVAL OF THESE ITEMS, BUILDER TO INFILL HOLE TO NATURAL GROUND LEVEL OR INFILL TO REQUIRED LEVEL FOR CONSTRUCTION.
3. EXTENT OF CUT AND FILL AREAS SHOWN SHADED ARE INDICATIVE FOR BULK EXCAVATION ONLY. CONTRACTOR TO VERIFY ON SITE.



**EAST STREET**

672 EAST STREET

162 EASTERN CCT

1 CUT & FILL PLAN  
SCALE 1:200 MM



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NOMINATED ARCHITECT:	SIGNATURE:	6	07-03-22	REVISED FOR HOUSING SEPP	ARCHITECT  BREWSTER MURRAY PTY LTD	CONSULTING ENGINEERS  GREENVIEW CONSULTING PTY LTD	CLIENT  NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION	PROJECT  DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021	TITLE  CUT & FILL PLAN	STATUS SKETCH DESIGN								
MICHAEL BULLEN		5	29-10-21	REVISED FOR PART 5						BCA CONSULTANT	LANDSCAPE CONSULTANT	680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW	DATE 07-03-22	SCALE As SHOWN	PROJ MB	DESIGNER AG	CHECKED MB	PROJECT NO BGXPC
		4	15-09-21	ISSUE FOR PART 5														
		3	24-08-21	FOR CO-ORDINATION														
		2	19-07-21	FOR INFORMATION														
REV	DATE	NOTATION/AMENDMENT			CODE CONDUIT	PRECINCT LANDSCAPES	LOTS 11, 12, 13, 14 & 15 in DP 243192	FILE	PLOTTED	TYPE	SHEET	REV						
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.											DA12	6						



DETERMINED by the New South Wales Land & Housing Corporation on:



**OVERSHADOWING LEGEND:**



GREY AREA INDICATES EXTENT OF SHADOWS CAST  
BY EXISTING DEVELOPMENT

PINK AREA INDICATES EXTENT SHADOWS CAST BY  
PROPOSED DEVELOPMENT

NOTE: NEIGHBOURING PROPERTIES OUTLINES ARE SHOWN INDICATIVE ONLY



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NOMINATED ARCHITECT:		SIGNATURE:		6	07-03-22	REVISED FOR HOUSING SEPP	ARCHITECT	6	07-03-22	REVISED FOR HOUSING SEPP	CLIENT	PROJECT	TITLE		STATUS			
MICHAEL BULLEN				5	29-10-21	REVISED FOR PART 5	BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD		NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION	DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021	680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW	SHADOW DIAGRAMS	DATE		SCALE	PRJG	PROJECT NO
				4	15-09-21	ISSUE FOR PART 5			07-03-22					MB	MB	B0XPc		
				3	24-08-21	FOR CO-ORDINATION			STAGE					SHEET SIZE	DESIGNER	CHECKED		
				2	19-07-21	FOR INFORMATION	ICA CONSULTANT	LANDSCAPE CONSULTANT	SK					A1	AG	MB		
				REV	DATE	NOTATION/AMENDMENT	CODE CONDUIT	PRECINCT LANDSCAPES	TYPE					SHEET	REV			
				DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.						DA13				6				



WINTER SOLAR ACCESS SUMMARY					3 HRS MIN. LIVING + P.O.S
UNIT	LIVING AREAS		P.O.S		
01	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
02	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
03	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
04	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
05	1PM - 3PM	2 HRS	11AM - 3PM	4 HRS	
06	9AM - 10AM, 1PM - 3PM	3 HRS	11AM - 3PM	4 HRS	✓
07	9AM - 12PM	3 HRS	9AM - 12PM	3 HRS	✓
08	12PM - 3PM	3 HRS	10AM - 3PM	5 HRS	✓
09	9AM - 10AM	1 HRS	9AM - 11AM	2 HRS	
10	2PM - 3PM	1 HRS	12PM - 3PM	3 HRS	
11	9AM - 11AM	2 HRS	9AM - 12PM	6 HRS	
12	1PM - 3PM	2 HRS	11AM - 3PM	4 HRS	
13	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
14	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
15	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
16	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
17	9AM - 3PM	6 HRS	11AM - 3PM	4 HRS	✓
18	9AM - 10AM, 1PM - 3PM	3 HRS	11AM - 3PM	4 HRS	✓
19	9AM - 12PM	3 HRS	9AM - 1PM	4 HRS	✓
20	11AM - 3PM	4 HRS	10AM - 3PM	5 HRS	✓
21	9AM - 11AM	2 HRS	9AM - 12PM	2 HRS	
22	1PM - 3PM	2 HRS	11AM - 3PM	4 HRS	
23	9AM - 12PM	3 HRS	9AM - 12PM	3 HRS	✓
24	12PM - 3PM	3 HRS	11AM - 3PM	4 HRS	✓

TOTAL UNITS RECEIVING 3 HRS MIN LIVING + P.O.S: 17/24 UNITS = 71% (70% MIN.)

26/9/2022

DETERMINED by the New South Wales Land & Housing Corporation on:

[illegible]





FB-1: FACE BRICK  
BROWN WITH NATURAL VARIATION (SIMILAR TO PGH OPALINE TOURMALINE)



FB-2: BALCONY WALLS  
WHITE (SIMILAR TO PGH HAMPTONS FRESH WHITE)



FB-3, FEN-3: FEATURE BRICK  
DARK GREY (SIMILAR TO PGH URBAN BLUE)



BAL-1 GREY SEMI-OPAQUE

MR2: SECONDARY METAL ROOFS  
WCL1: PREFINISHED METAL WALL CLADDING  
LVR-1: ALUMINIUM PRIVACY LOUVRES  
FEN-2: SLATTED PRIVACY FENCES  
G, DP, ALL ROOF EDGE GUTTERS AND DOWNPIPES  
WF, DF, SS: WINDOW & DOOR FRAMES, ALL FASCIAS AND  
METAL FLASHINGS, SUN SHADES  
(SIMILAR TO COLORBOND WOODLAND GREY)

MR1: MAIN METAL ROOF  
FEN-1: BOUNDARY FENCES  
(SIMILAR TO COLORBOND SHALE GREY)

CONC: CONCRETE COURTYARDS,  
PATHWAYS  
(NATURAL GREY CONCRETE)

CC-1: CONCRETE DRIVEWAYS  
(COLOURED CONCRETE DARK GREY)





DETERMINED by the New South Wales Land & Housing Corporation on:

26/9/2022

# CIVIL DESIGN

## FOR PROPOSED DEVELOPMENT AT

### 68o-688 East St & 165 Alexandra St, East Albury, NSW

#### GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION.
- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- IT IS THE RESPONSIBILITY OF THE TENDERER TO SEEK CLARIFICATION WHERE DOCUMENTATION IS CONFLICTING OR UNCLEAR. WHERE NO CLARITY IS OBTAINED, THE TENDERER IS TO ALLOW FOR BOTH INTERPRETATIONS IN THEIR PRICING.
- CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- ALL NEW WORKS SHALL MAKE A SMOOTH JOINT WITH EXISTING.
- ALL DRAINAGE LINES THOUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS, FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS. PLAN TO BE SUBMITTED TO COUNCIL & RMS AS REQUIRED.
- THESE PLANS SHALL BE A READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- ALL TERRACE FLOOR AND PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
- ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANIZED STEP IRONS AT 300mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS4198-1994.
- ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- GREENVIEW IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION PROVIDED ON THIS DRAWING.
- ALL LEVELS SHOWN ARE EXPECTED TO BE TO A.H.D.
- ALL CHAINAGES AND LEVELS ARE IN METERS, AND DIMENSIONS IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- THE SURVEY INFORMATION ON THIS DRAWING HAS BEEN PROVIDED BY THE ARCHITECT.
- CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- W & E DRAWINGS BY A REGISTERED SURVEYOR ARE REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN APPROVAL.
- WATER TREATMENT DEVICES TO STRICTLY COMPLY WITH MANUFACTURING SPECIFICATIONS.

#### RAINWATER REUSE SYSTEM NOTES

- RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIC CERTIFICATE (BY OTHERS).
- NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY.
- PROVIDE AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
- PROVIDE AT LEAST ONE EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
- PROVIDE APPROPRIATE FLOAT VALVE AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL.
- ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
- PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
- PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZS3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
- EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELLED 'RAINWATER ON A METALLIC SIGN IN ACCORDANCE WITH AS1319.
- ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
- ALL DOWNPIPES CHARGED TO THE RAINWATER TANK ARE TO BE SEALED UP TO GUTTER LEVEL AND BE PRESSURE TESTED AND CERTIFIED.
- TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF
  - PERMANENT AIR GAP
  - BACKFLOW PREVENTION DEVICE

#### SAFETY IN DESIGN NOTES

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS. AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGHOUT THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

#### EARTHWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT OF THE PROPOSED DEVELOPED AREA.
- PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC. AND STRIP TOP SOIL. AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MINIMUM WEIGHT OF 5 TONNES WITH A MINIMUM OF 10 PASSES.
- EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS. THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm$  2%.
- FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1289 5.1.1). MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT  $\pm$  2% SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO APPROVAL.
- COMPACTION TESTING SHALL BE CARRIED OUT AT THE RATE OF 2 TESTS PER 1000SQ METRES PER LAYER BY A REGISTERED NATA LABORATORY. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- BATTERS TO BE AS SHOWN, OR MAXIMUM 1 VERT : 4 HORIZ.
- ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- ALL TERRACES AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

#### DRAINAGE INSTALLATION

#### RCP CONVENTIONAL

#### INSTALLATIONS & ROAD CROSSINGS

- SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION. A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
- A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 600 DIA. 200mm CLEARANCE FOR PIPES 600 TO 1200 DIA AND 300mm CLEARANCE FOR PIPES > 1200 DIA.
- BEDDING OF THE PIPELINES IS TO BE TYPE 'HS2' IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:

a COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:						
M	19	2.3600	0.6000	0.3000	0.1500	0.0750
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

-AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.

b BEDDING DEPTH UNDER THE PIPE TO BE 100mm.

c BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE HAUNCH ZONE.

d THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.

e COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT

#### ROOF DRAINAGE

- ALL ROOF DRAINAGE IS TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATIONS.
- DOWNPIPES SHOWN ARE INDICATIVE ONLY. REFER ARCHITECTURALS FOR FINAL LOCATIONS.
- ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE, UNLESS APPROVED OTHERWISE BY THE PROJECT ARCHITECT.
- ALL DOWNPIPES TO HAVE LEAF GUARDS.
- ALL EAVES GUTTERS ARE TO BE DESIGNED TO THE 5% AEP (20YR) STORM EVENTS UNO
- ALL EAVES GUTTER OVERFLOWS ARE TO BE IN ACCORDANCE WITH AS3500.3 G3
- ALL BOX GUTTERS ARE TO BE DESIGNED TO CATER TO THE 1% AEP (100YR) STORM EVENTS UNO
- IN ACCORDANCE WITH AS3500.3 CLAUSE 3.7.6.6, BOX GUTTERS SHALL:
  - BE STRAIGHT (WITHOUT CHANGE IN DIRECTION)
  - HAVE A HORIZONTAL CONSTANT WIDTH BASE (SOLE) WITH VERTICAL SIDES IN A CROSS-SECTION.
  - HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40.
  - DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE OF DIRECTION (I.E. NOT TO THE SIDE); AND
  - BE SEALED TO THE RAINHEADS AND SUMPS.
- GREENVIEW RECOMMENDS THAT THE BUILDER VERIFIES THAT ANY AND ALL BOX GUTTERS HAVE BEEN DESIGNED BY A QUALIFIED CIVIL ENGINEER PRIOR TO THE COMMENCEMENT OF WORKS.
- GREENVIEW RECOMMENDS A SPECIFIC INSPECTION AND CERTIFICATION BY A QUALIFIED CIVIL ENGINEER OF ANY AND ALL BOX GUTTERS INSTALLED ON THE PROJECT PRIOR TO OCCUPATION CERTIFICATE
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

#### STORMWATER DRAINAGE NOTES

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION
- MINIMUM PIT DIMENSIONS ARE TO BE IN ACCORDANCE WITH AS3500.3 TABLE 7.5.2.1 WHICH PROVIDES GUIDANCE ACCORDING TO PIT DEPTH U.N.O.

TABLE 7.5.2.1

#### MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS

Depth to invert of outlet	Minimum internal dimensions mm		
	Rectangular	Circular	
	Width	Length	Diameter
≤450	350	350	—
≤600	450	450	600
>600 ≤900	600	600	900
>900 ≤1200	600	900	1000
>1200	900	900	1000

- PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC
- PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO
- ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCIL'S SPECIFICATION
- PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.
- ALL PIPES LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER, WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.
- PIPES 225mm DIA. AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O
- BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.
- ANY PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS
- THE MINIMUM SIZES OF THE STORMWATER DRAINAGE PIPES SHALL NOT BE LESS THAN 90mm DIA FOR CLASS 1 BUILDINGS AND 100mm DIA FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERTS.
- ALL LANDSCAPED PITS TO BE MIN 450 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- GREENVIEW RECOMMENDS ALL COURTYARDS TO HAVE 450 SQUARE PLASTIC PIT INSTALLED WITH A 150mm DIA. CONNECTION TO FORMAL DRAINAGE SYSTEM.
- ALL DRIVEWAY PITS TO BE MIN 600 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION WHERE APPLICABLE.
- ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE AND PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE.
- ANY VARIATION TO THAT WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO THE COMMENCEMENT.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL GRATES TO HAVE CHILDPROOF LOCKS
- ALL WORK WITHIN COUNCIL RESERVE AREAS TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILLING.
- COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL
- WATER PROOF ALL CONCRETE BALCONIES & ROOFS TO ARCHITECTS DETAILS
- ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW.
- ALL SUBSOIL DRAINAGE SHALL BE A MINIMUM OF Ø65mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE CONSULTANT.
- SUBSOIL DRAINAGE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL. PROVIDE FLUSHING EYE'S AT HIGH POINTS OR TO COUNCILS REQUIREMENTS.
- ALL GRATES IN AREAS OF FREQUENT PEDESTRIAN TRAFFIC (IE FOOTPATHS, WALKWAYS, ETC.) TO BE HEELPROOF GRATE.
- REFER ARCHITECTS DETAIL FOR GRATE FINISH (IE STAINLESS STEEL OR GALVANISED).
- GRATES TO BE IN ACCORDANCE WITH TABLE BELOW:

#### PIT GRATE INLINE TYPE

GRATE TYPE	TRAFFIC CONDITIONS
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES.
C - MEDIUM DUTY	MAILS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICLES.

TABLE AS PER AS3699 - 2006. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.

- COVER TO PIPE TO BE AS PER TABLE BELOW:

#### COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
LANDSCAPE (SINGLE DWELLING)	PVC	100
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDERSIDE OF PAVEMENT
CONCRETE	STEEL	NIL BELOW UNDERSIDE OF PAVEMENT
ROADS	RCP	500 BELOW UNDERSIDE OF PAVEMENT

#### STORMWATER DRAINAGE NOTES CONTINUED

- GREENVIEW'S STORMWATER SYSTEM HAS BEEN DESIGNED TO CAPTURE SURFACE RUNOFF FROM THE SITE ITSELF BUT DOES NOT INCORPORATE SPECIFIC GROUNDWATER CAPTURE MECHANISMS. IN SOME CASES, GROUNDWATER INUNDATION MAY BE A SIGNIFICANT SOURCE OF WATER DURING A STORM EVENT. GREENVIEW RECOMMENDS THAT ALL RETAINING WALLS CLOSE TO HABITABLE AREAS BE FITTED WITH AN IMPERMEABLE MEMBRANE AND SUBSOIL DRAINAGE TO PREVENT GROUNDWATER INGRESS.
- GREENVIEW RECOMMENDS ALL IN-GROUND STORMWATER PIPE RUNS ARE SET OUT BY THE BUILDER PRIOR TO COMMENCEMENT OF WORKS. WHERE 300mm COVER IS NOT ACHIEVED, NOTIFY ENGINEER.
- WHERE STORMWATER DRAINAGE WORKS ARE TO BE UNDERTAKEN PRIOR TO THE CONSTRUCTION OF THE BUILDING, THE BUILDER IS TO SET OUT THE FLOOR LEVELS AND ENSURE PROPOSED STORMWATER DRAINAGE LEVELS AND BUILDING LEVELS ARE COMPATIBLE. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES.

#### EXISTING SERVICES



#### ABBREVIATIONS

DP	DOWN PIPE
FFL	PROPOSED FINISHED FLOOR LEVEL
GL	PROPOSED PIT SURFACE LEVEL
IL	PROPOSED PIT INVERT LEVEL
IO	INSPECTION OPENING
K&G	KERB & GUTTER
P	FINISHED FLOORMENT LEVEL
RCP	REINFORCED CONCRETE PIPE
RKG	ROLL KERB & GUTTER
RL	FINISHED SURFACE LEVEL
RWO	RAINWATER DRAINAGE OUTLET
RWT	PROPOSED RAINWATER TANK
TK	TOP OF NEW KERB LEVEL
TOW	TOP OF NEW RETAINING WALL LEVEL
TWL	TOP OF WATER LEVEL
UPVC	RIGID PVC PIPE
VD	VERTICAL DROPPER

#### COLOUR LEGEND

NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)
EXISTING
REMOVED OR RELOCATED

GREENVIEW CIVIL SHEET LIST		
No.	SHEET NAME	REV.
C01	NOTES & LEGENDS	5
C02	GROUND FLOOR DRAINAGE PLAN	5
C03	SITE STORMWATER DETAILS SHEET 1	5

## PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury, NSW

Brewster Murray Architects



DESIGN: RC    DRAWN: JPS    CHECKED: AMcK    SIZE: A1    SCALE: 1 : 100

## CIVIL DESIGN

## NOTES & LEGENDS

201135  
PRELIMINARY  
C01 5

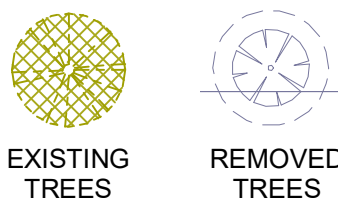
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5	26.11.2021	JPS	ISSUED FOR APPROVAL	
4	08.11.2021	JPS	ISSUED FOR APPROVAL	
3	03.11.2021	JPS	ISSUED FOR APPROVAL	
2	07.09.2021	JPS	ISSUED FOR APPROVAL	
1	16.07.2021	JPS	ISSUED FOR APPROVAL	
REV.	DATE	BY	DESCRIPTION	



GROUND FLOOR DRAINAGE PLAN  
Scale: 1 : 200

GENERAL LEGEND

LANDSCAPE
BYPASS LANDSCAPE
HARDSTAND
ROOF AREA TO DRAIN

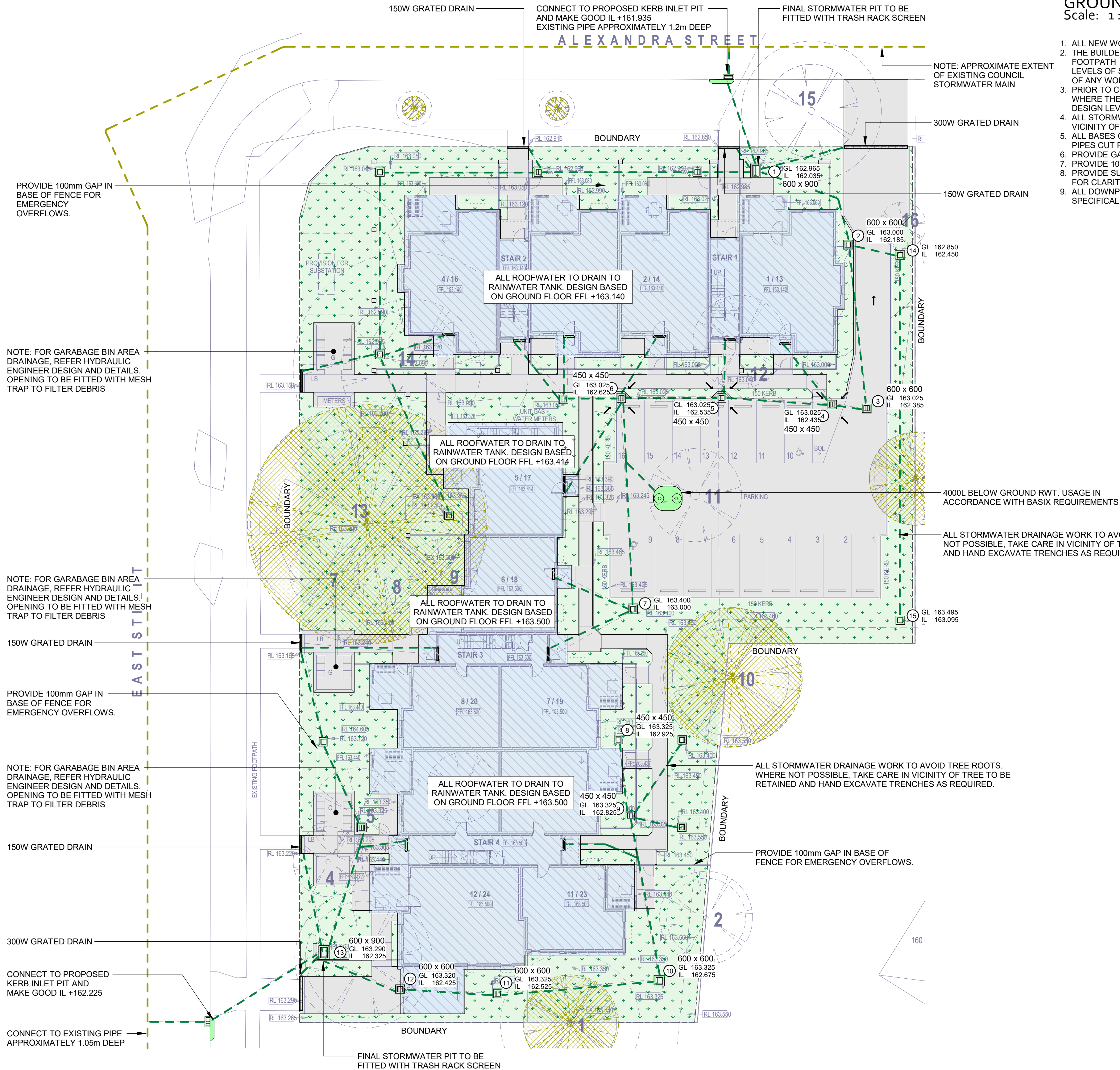


- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- ALL BASES OF PITS TO BE BENCHMARKED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.
- PROVIDE 100mm GAP IN BASE OF FENCE FOR EMERGENCY OVERFLOWS.
- PROVIDE SUBSOIL DRAINAGE AND OUTLETS TO ALL ON PODIUM PLANTER BOXES. OUTLET PIPES NOT SHOWN FOR CLARITY OF DOCUMENTATION.
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

CIV - FIXTURES SCHEDULE		
	TYPE	DESCRIPTION
		GRATED STORMWATER PIT
		PERIMETER STRIP DRAIN
	300W	GRATED STRIP DRAIN
	RWT	4000L BELOW GROUND RAINWATER TANK

CIV - STANDARD SYMBOLS	
	DESCRIPTION
	FALL ARROW

CIV - STORMWATER SERVICES		
	TYPE	DESCRIPTION
	STW	STORMWATER
	STW EX	EXISTING STORMWATER



*Handwritten signature*

26/9/2022

DETERMINED by the New South Wales Land & Housing Corporation on:

REV.	DATE	BY	DESCRIPTION
5	26.11.2021	JPS	ISSUED FOR APPROVAL
4	08.11.2021	JPS	ISSUED FOR APPROVAL
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PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury,  
NSW

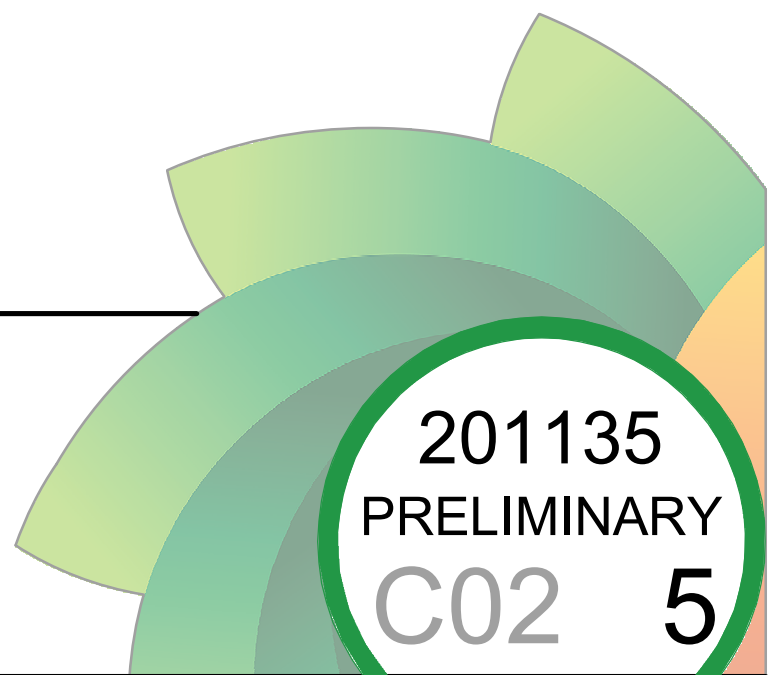
Brewster Murray Architects



DESIGN: RC | DRAWN: JPS | CHECKED: AMcK | SIZE: A1 | SCALE: As indicated

CIVIL DESIGN

GROUND FLOOR DRAINAGE PLAN

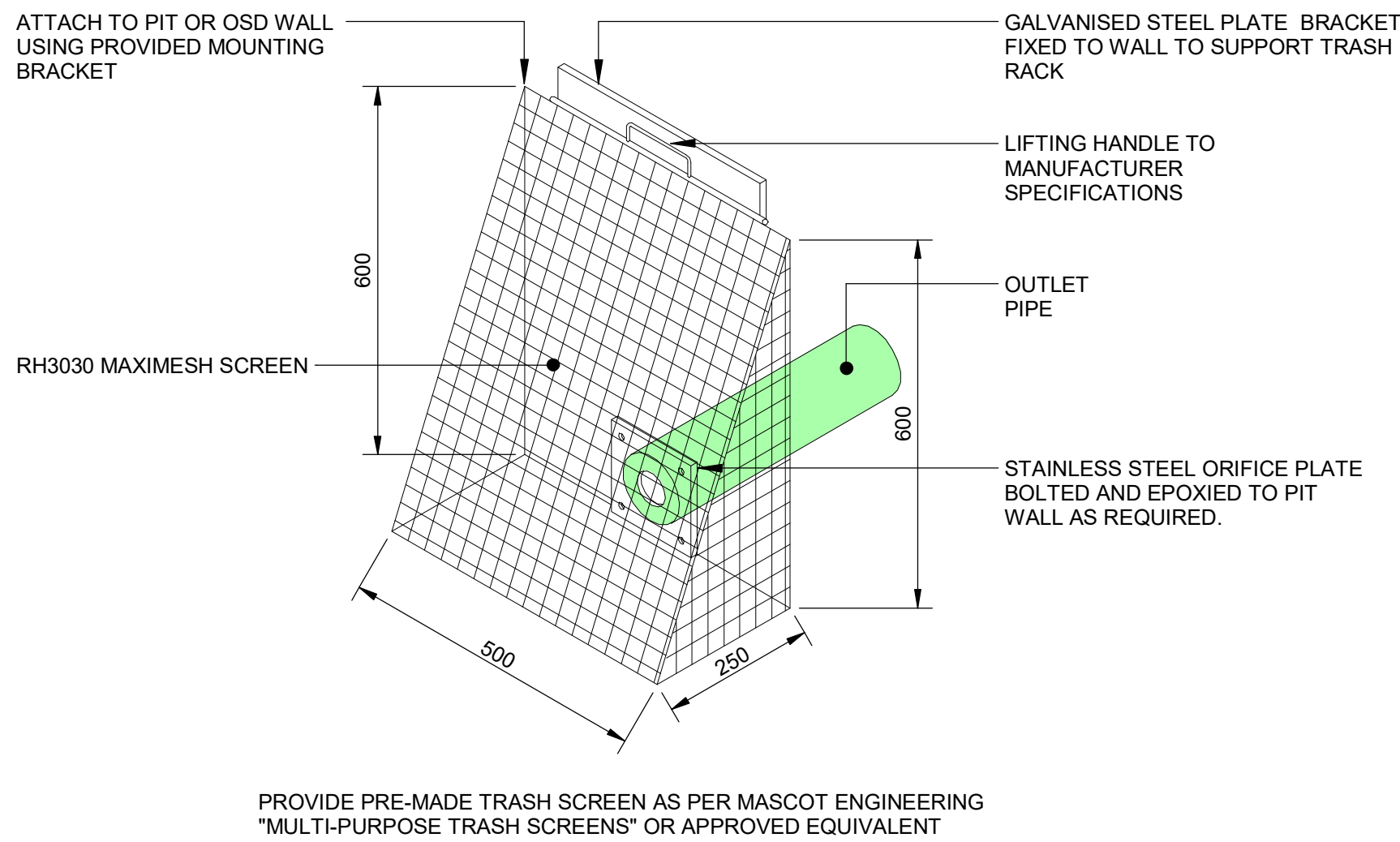




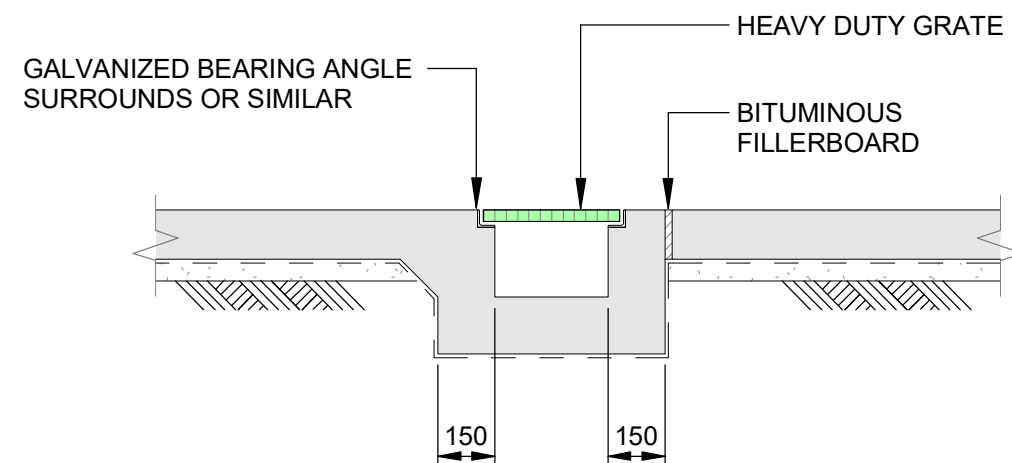
Greenview

26/9/2022

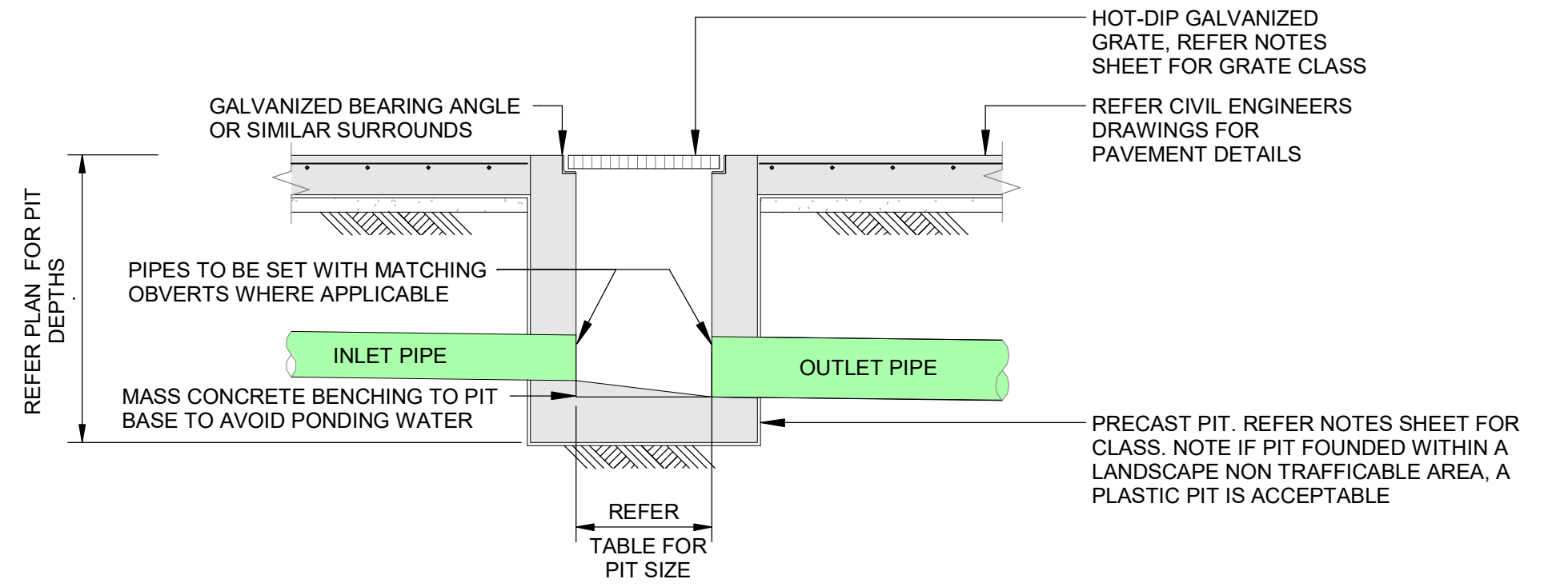
DETERMINED by the New South Wales Land & Housing Corporation on:



TYPICAL TRASH SCREEN DETAIL  
Scale: 1 : 10



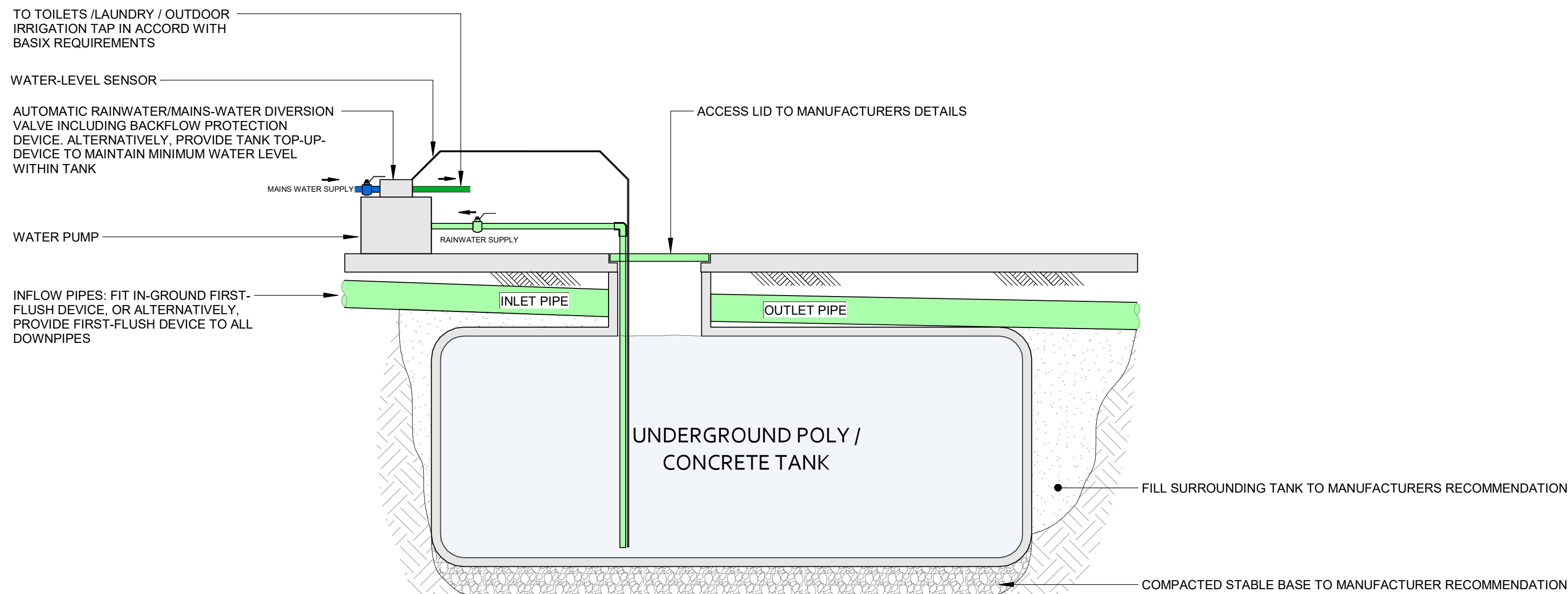
TYPICAL GRATED DRAIN DETAIL  
Scale: 1 : 20



1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 90Dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

PIT SIZE	
DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE  
Scale: 1 : 20



1. PROVIDE DIVERSION DEVICE AS SHOWN TO ENSURE MAINS-WATER SWITCH-OVER OCCURS ONCE WATER LEVEL IN TANK REACHES THE MINIMUM LEVEL. ALTERNATIVELY, A TOP-UP DEVICE (OR AIR-BREAK SYSTEM) MAY BE EMPLOYED TO ENSURE THE MINIMUM AFTER LEVEL IN THE TANK IS MAINTAINED.
2. RAINWATER FIXTURES, INFLOW AND OUTFLOW PIPES TO AS3500.1 (2003).
3. ANY CONTAINMENT/BACKFLOW PREVENTION DEVICE TO BE IN ACCORD WITH THE LOCAL WATER AUTHORITY.
4. RAINWATER USAGE AND MINIMUM VOLUMES TO BASIX OR AS SPECIFIED BY THE STORMWATER ENGINEER.
5. ALL PIPING SYSTEMS DELIVERING RAINWATER TO TAPS, FIXTURES, OUTLETS OR APPLIANCES MUST BE INSTALLED BY A LICENSED PLUMBER.

TYPICAL BELOW GROUND RAINWATER TANK  
Scale: 1 : 20

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REV.	DATE	BY	DESCRIPTION	
5	26.11.2021	JPS	ISSUED FOR APPROVAL	
4	08.11.2021	JPS	ISSUED FOR APPROVAL	
3	03.11.2021	JPS	ISSUED FOR APPROVAL	
2	07.09.2021	JPS	ISSUED FOR APPROVAL	
1	16.07.2021	JPS	ISSUED FOR APPROVAL	

PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury, NSW

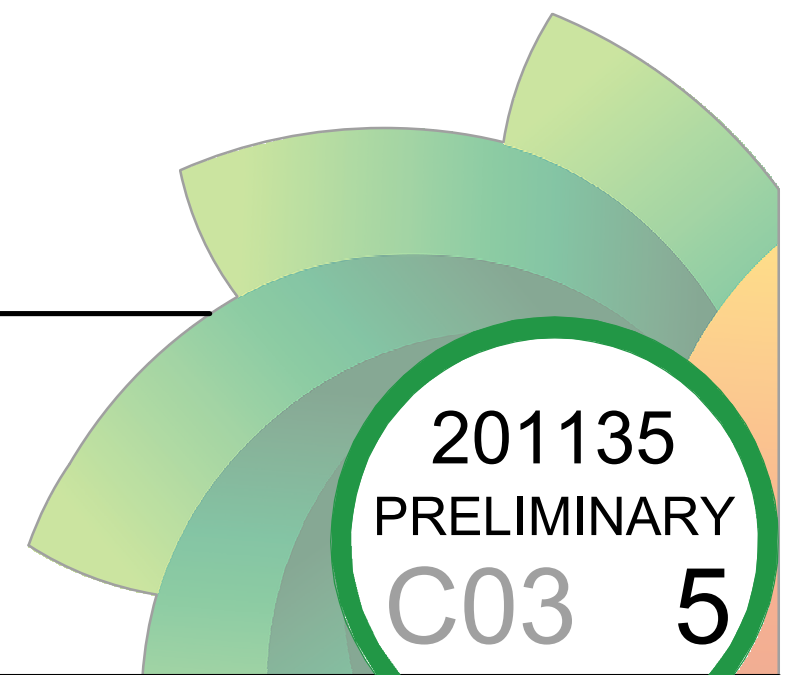
Brewster Murray Architects



DESIGN: RC    DRAWN: JPS    CHECKED: AMcK    SIZE: A1    SCALE: As indicated

CIVIL DESIGN

SITE STORMWATER DETAILS SHEET 1





# CIVIL DESIGN

## FOR PROPOSED DEVELOPMENT AT

### 680-688 East St & 165 Alexandra St, East Albury, NSW

DETERMINED by the New South Wales Land & Housing Corporation on:

*Eden*

26/9/2022

#### GENERAL INSTRUCTIONS

1. THIS SOIL AND WATER MANAGEMENT PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ENGINEERING PLANS RELATING TO THIS DEVELOPMENT.
2. CONTRACTORS WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE UNDERTAKEN AS INSTRUCTED IN THIS SPECIFICATION AND CONSTRUCTED FOLLOWING THE GUIDELINES OF "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION", DEPT OF HOUSING, 1998 (BLUE BOOK).
3. ALL SUBCONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN REDUCING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE AREAS.
4. THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS, WHERE DISCREPANCIES ARE FOUND NOTIFY ENGINEER IMMEDIATELY FOR VERIFICATIONS.
5. WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES.

#### LAND DISTURBANCE INSTRUCTIONS

1. DISTURBANCE TO BE NO FURTHER THAN 5 (PREFERABLY 2) METRES FROM THE EDGE OF ANY ESSENTIAL ENGINEERING ACTIVITY AS SHOWN ON APPROVED PLANS. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE ZONES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
2. ACCESS AREAS ARE TO BE LIMITED TO A MAXIMUM WIDTH OF 10 METRES THE SITE MANAGER WILL DETERMINE AND MARK THE LOCATION OF THESE ZONES ON-SITE. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE BOUNDARIES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
3. ENTRY TO LANDS NOT REQUIRED FOR CONSTRUCTION OR ACCESS IS PROHIBITED EXCEPT FOR ESSENTIAL THINNING OF PLANT GROWTH.
4. WORKS ARE TO PROCEED IN THE FOLLOWING SEQUENCE:
  - A. INSTALL ALL BARRIER AND SEDIMENT FENCING WHERE SHOWN ON THE PLAN.
  - B. CONSTRUCT THE STABILISED SITE ACCESS.
  - C. CONSTRUCT DIVERSION DRAINS AS REQUIRED.
  - D. INSTALL MESH AND GRAVEL INLETS FOR ANY ADJACENT KERB INLETS.
  - E. INSTALL GEOTEXTILE INLET FILTERS AROUND ANY ON-SITE DROP INLET PITS.
  - F. CLEAR SITE AND STRIP AND STOCKPILE TOPSOIL IN LOCATIONS SHOWN ON THE PLAN.
  - G. UNDERTAKE ALL ESSENTIAL CONSTRUCTION WORKS ENSURING THAT ROOF AND/OR PAVED AREA STORMWATER SYSTEMS ARE CONNECTED TO PERMANENT DRAINAGE AS SOON AS PRACTICABLE.
  - H. GRADE LOT AREAS TO FINAL GRADES AND APPLY PERMANENT STABILISATION (LANDSCAPING) WITHIN 20 DAYS OF COMPLETION OF CONSTRUCTION WORKS.
  - I. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER THE PERMANENT LANDSCAPING HAS BEEN COMPLETED.
5. ENSURE THAT SLOPE LENGTHS DO NOT EXCEED 80 METRES WHERE PRACTICABLE. SLOPE LENGTHS ARE DETERMINED BY SILTATION FENCING AND CATCH DRAIN SPACING.
6. ON COMPLETION OF MAJOR WORKS LEAVE DISTURBED LANDS WITH A SCARIFIED SURFACE TO ENCOURAGE WATER INFILTRATION AND ASSIST WITH KEYING TOPSOIL LATER.

#### SITE MAINTENANCE INSTRUCTIONS

1. THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND AT THE CONCLUSION OF EVERY STORM EVENT TO:
  - A. ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS.
  - B. REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 5 METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS.
  - C. REMOVE TRAPPED SEDIMENT WHENEVER THE DESIGN CAPACITY OF THAT STRUCTURE HAS BEEN EXCEEDED.
  - D. ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND NOT TO INITIATE UPGRADING OR REPAIR AS NECESSARY.
  - E. CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS. MAKE ONGOING CHANGES TO THE PLAN WHERE IT PROVES INADEQUATE IN PRACTICE OR IS SUBJECT TO CHANGES IN CONDITIONS ON THE WORK-SITE OR ELSEWHERE IN THE CATCHMENT.
  - F. MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED.

THE SITE SUPERINTENDENT WILL KEEP A LOGBOOK MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL. ENTRIES WILL INCLUDE:

- A. THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS.
- B. THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS.
- C. THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE.
- D. THE NEED FOR DUST PREVENTION STRATEGIES.
- E. ANY REMEDIAL WORKS TO BE UNDERTAKEN.

THE LOGBOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON UPON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF THE WORKS.

#### SAFETY IN DESIGN NOTES

1. THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS, AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

#### SEDIMENT CONTROL INSTRUCTIONS

1. SEDIMENT FENCES WILL BE INSTALLED AS SHOWN ON THE PLAN AND ELSEWHERE AT THE DISCRETION OF THE SITE SUPERINTENDENT TO CONTAIN SOIL AS NEAR AS POSSIBLE TO THEIR SOURCE.
2. SEDIMENT FENCES WILL NOT HAVE CATCHMENT AREAS EXCEEDING 900 SQUARE METRES AND HAVE A STORAGE DEPTH OF AT LEAST 0.6 METRES.
3. SEDIMENT REMOVED FROM ANY TRAPPING DEVICES WILL BE RELOCATED WHERE FURTHER POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS CANNOT OCCUR.
4. STOCKPILES ARE NOT TO BE LOCATED WITHIN 5 METRES OF HAZARD AREAS INCLUDING AREAS OF HIGH VELOCITY FLOWS SUCH AS WATERWAYS, PAVED AREAS AND DRIVEWAYS.
5. WATER WILL BE PREVENTED FROM DIRECTLY ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR WATER HAS BEEN TREATED BY AN APPROVED DEVICE.
6. TEMPORARY SEDIMENT TRAPS WILL REMAIN IN PLACE UNTIL AFTER THE LANDS THEY ARE PROTECTING ARE COMPLETELY REHABILITATED.
7. ACCESS TO SITES SHOULD BE STABILISED TO REDUCE THE LIKELIHOOD OF VEHICLES TRACKING SOIL MATERIALS ONTO PUBLIC ROADS AND ENSURE ALL-WEATHER ENTRY/EXIT.

#### SOIL EROSION CONTROL INSTRUCTIONS

1. EARTH BATTERS WILL BE CONSTRUCTED WITH AS LOW A GRADIENT AS PRACTICABLE BUT NO STEEPER, UNLESS OTHERWISE NOTED, THAN:
  - 2(H):1(V) WHERE SLOPE LENGTH LESS THAN 12 METRES.
  - 2.5(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 16 METRES.
  - 3(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 20 METRES.
  - 4(H):1(V) WHERE SLOPE LENGTH GREATER THAN 20 METRES.
2. ALL WATERWAYS, DRAINS, SPILLWAYS AND THEIR OUTLETS WILL BE CONSTRUCTED TO BE STABLE IN AT LEAST THE 1:20 YEAR ARI, TIME OF CONCENTRATION STORM EVENT.
3. WATERWAYS AND OTHER AREAS SUBJECT TO CONCENTRATED FLOWS AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND-COVER C-FACTOR OF 0.05 (70% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION. FLOW VELOCITIES ARE TO BE LIMITED TO THOSE SHOWN IN TABLE 5-1 OF "MANAGING URBAN STORMWATER-SOILS AND CONSTRUCTION", DEPT OF HOUSING 1998 (BLUE BOOK). FOOT AND VEHICULAR TRAFFIC WILL BE PROHIBITED IN THESE AREAS.
4. STOCKPILES AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND-COVER C-FACTOR OF 0.1 (60% GROUND-COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION.
5. ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND-COVER C-FACTOR OF 0.15 (50% GROUND COVER) WITHIN 20 WORKING DAYS FROM INACTIVITY EVEN THOUGH WORKS MAY CONTINUE LATER.
6. FOR AREAS OF SHEET FLOW USE THE FOLLOWING GROUND COVER PLANT SPECIES FOR TEMPORARY COVER: JAPANESE MILLET 20 KG/HA AND OATS 20 KG/HA.
7. PERMANENT REHABILITATION OF LANDS AFTER CONSTRUCTION WILL ACHIEVE A GROUND-COVER C-FACTOR OF LESS THAN 0.1 AND LESS THAN 0.05 WITHIN 60 DAYS. NEWLY PLANTED LANDS WILL BE WATERED REGULARLY UNTIL AN EFFECTIVE COVER IS ESTABLISHED AND PLANTS ARE GROWING VIGOROUSLY. FOLLOW-UP SEED AND FERTILISER WILL BE APPLIED AS NECESSARY.
8. REVEGETATION SHOULD BE AIMED AT RE-ESTABLISHING NATURAL SPECIES. NATURAL SURFACE SOILS SHOULD BE REPLACED AND NON-PERSISTANT ANNUAL COVER CROPS SHOULD BE USED.

#### WASTE CONTROL INSTRUCTIONS

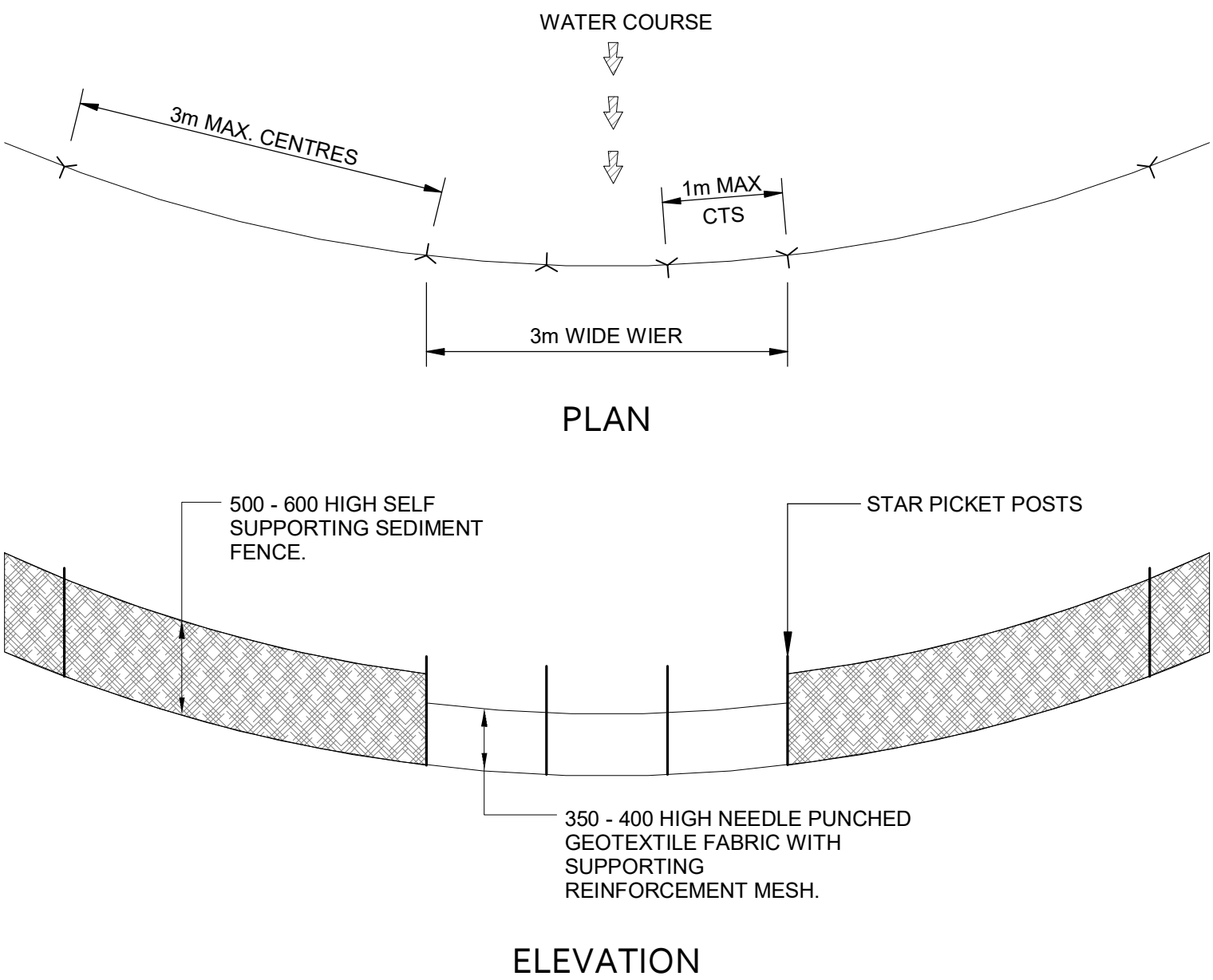
1. ACCEPTABLE BINS WILL BE PROVIDED FOR ANY CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHTWEIGHT WASTE MATERIALS AND LITTER. CLEARANCE SERVICES WILL BE PROVIDED AT LEAST WEEKLY. DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
2. ALL POSSIBLE POLLUTANT MATERIALS ARE TO BE STORED WELL CLEAR OF ANY POORLY DRAINED AREAS, FLOOD PHONE AREAS, STREAMBANKS, CHANNELS AND STORMWATER DRAINAGE AREAS. STORE SUCH MATERIALS IN A DESIGNATED AREA UNDER COVER WHERE POSSIBLE AND WITHIN CONTAINMENT BUNDS.
3. ALL SITE STAFF AND SUB-CONTRACTORS ARE TO BE INFORMED OF THEIR OBLIGATION TO USE WASTE CONTROL FACILITIES PROVIDED.
4. ANY DE-WATERING ACTIVITIES ARE TO BE CLOSELY MONITORED TO ENSURE THAT WATER IS NOT POLLUTED BY SEDIMENT, TOXIC MATERIALS OR PETROLEUM PRODUCTS.
5. PROVIDE DESIGNATED VEHICULAR WASHDOWN AND MAINTENANCE AREAS WHICH ARE TO HAVE CONTAINMENT BUNDS.

#### PROCEDURE FOR DE-WATERING

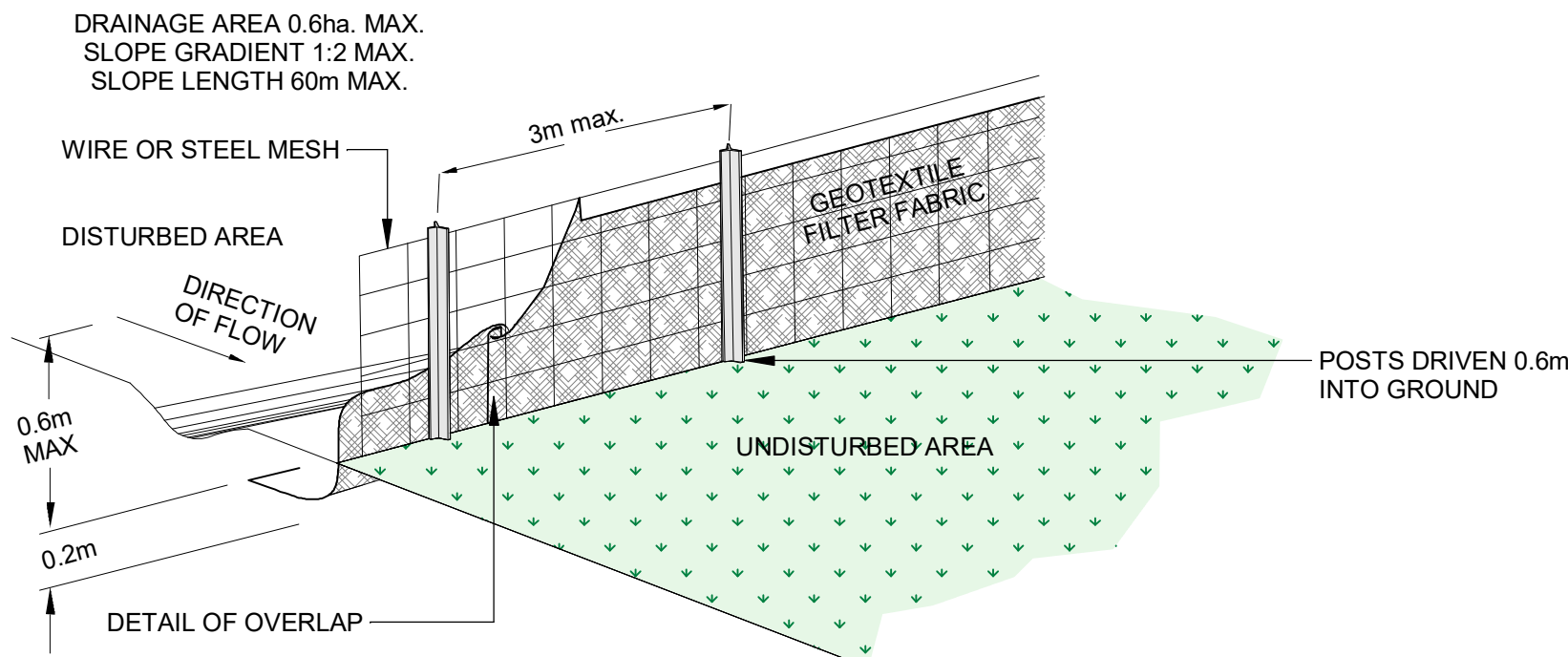
1. ENSURE PERMISSION FOR DE-WATERING IS RECEIVED FROM AUTHORITIES BEFORE PUMPING OUT.
2. AN ON-SITE TREATMENT PROCESS DISCHARGING TO THE STORMWATER SYSTEM WILL BE IMPLEMENTED. ALL SITE WATERS DURING CONSTRUCTION WILL BE CONTAINED ON SITE AND RELEASED ONLY WHEN pH IS BETWEEN 8.5 & 6.5, SUSPENDED SOLIDS ARE LESS THAN 50mg/L, TURBIDITY LESS THAN 100 NTUS, OIL AND GREASE LESS THAN 10mg/L AND BIOCHEMICAL OXYGEN DEMAND (BOD5) LESS THAN 30mg/L (FOR STORMS LESS THAN 1 IN 5 YEAR EVENTS).
3. METHODS OF SAMPLING AND ANALYSIS OF WATER QUALITY WILL BE IN ACCORDANCE WITH THE APPLICABLE METHOD LISTED IN THE EPA PUBLISHED APPROVED METHODS FOR THE SAMPLING ANALYSIS OF WATER POLLUTANTS IN NEW SOUTH WALES.
4. WHERE LABORATORY ANALYSIS IS REQUIRED AS INDICATED BY IN-SITU TESTING, APPROPRIATE SAMPLE BOTTLES AND PRESERVATIVES WILL BE USED AND GUIDANCE FOR THE SAMPLING METHOD OBTAINED FROM APPLICABLE PARTS OF ASS667.1 AND ASS667.5. ANALYSIS WILL BE UNDERTAKEN WHERE PRACTICAL BY A NATA REGISTERED LABORATORY CERTIFIED TO PERFORM THE APPLICABLE ANALYSIS.
5. AS EXCAVATION TO TOP SOIL PROGRESSES, ANY WATER COLLECTED AT THE BOTTOM OF EXCAVATIONS WILL BE DIVERTED TO A TEMPORARY SEDIMENTATION BASIN OR SETTLEMENT TANK. IF THE WATER CONTAINS ONLY SEDIMENTS, IT WILL BE FILTERED AND PUMPED TO STORMWATER. BEFORE THIS CAN HAPPEN IT MUST CONTAIN LESS THAN 50mg/L TOTAL SUSPENDED SOLIDS.
6. POLLUTED WATER MUST NOT ENTER THE STORMWATER SYSTEM. IN SOME CIRCUMSTANCES, A LIQUID WASTE COMPANY MAY BE REQUIRED TO COLLECT CONTAMINATED WATER FOR DISPOSAL AT A LICENSED TREATMENT FACILITY.

THE BUILDER AND EXCAVATION CONTRACTOR ARE TO ENSURE ANY WATER DISCHARGED INTO COUNCIL STORMWATER SYSTEM FROM THE EXCAVATED PORTIONS OF THE SITE COMPLY WITH THE RELEVANT ENVIRONMENTAL CRITERIA AND APPROPRIATE CONTROL METHODS SHALL BE ADOPTED. THE PROPOSED CONTROL METHODS ARE STRICTLY TO COMPLY WITH THE ANZECC 2000 GUIDELINES.

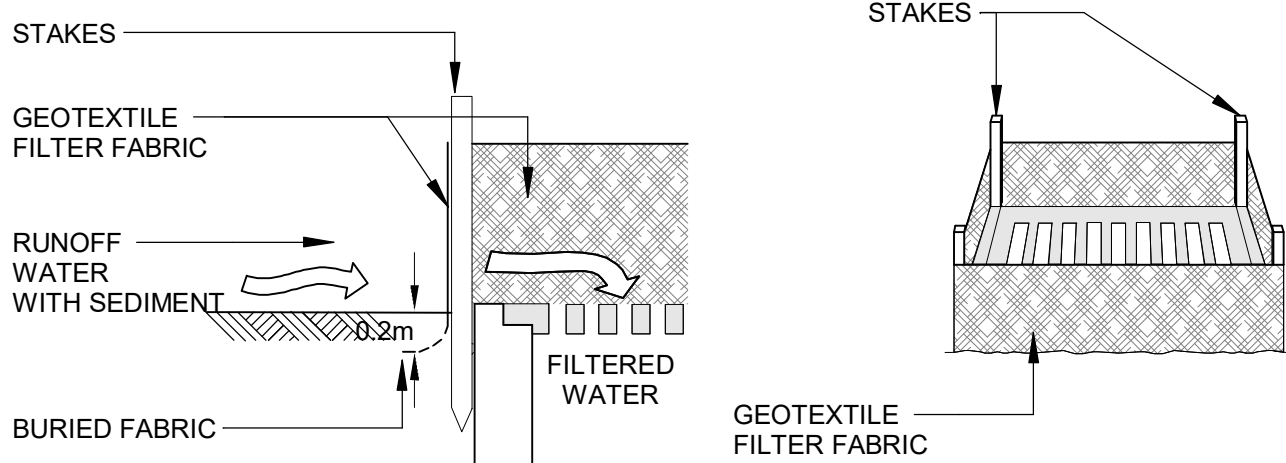
WHERE WORK INVOLVES EXCAVATION OR STOCKPILING OF RAW OR LOOSE MATERIALS, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROVIDED WHOLLY WITHIN THE SITE WHILST WORK IS BEING CARRIED OUT IN ORDER TO PREVENT SEDIMENT AND SILT FROM SITE WORKS BEING CONVEYED BY STORMWATER INTO COUNCIL'S STORMWATER SYSTEM. NATURAL WATER COURSES, BUSHLANDS, AND NEIGHBORING PROPERTIES. IN THIS REGARD, ALL STORMWATER DISCHARGE FROM THE SITE SHALL MEET THE REQUIREMENTS OF THE PROTECT OF ENVIRONMENT OPERATIONS ACT 1997 AND THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER GUIDELINES. THE CONTROL DEVICES ARE TO BE MAINTAINED IN A SERVICEABLE CONDITION AT ALL TIMES.



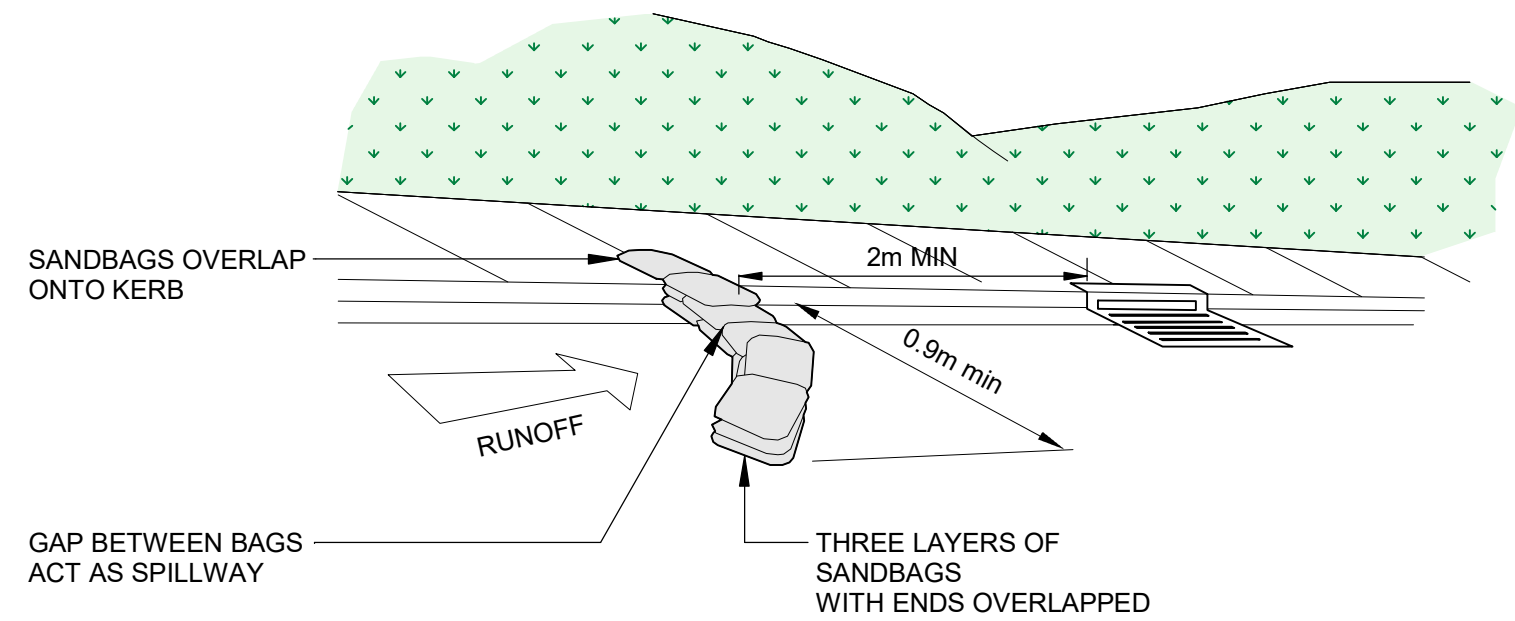
ESM\_SEDIMENT FENCE WEIR  
Scale: 1 : 20



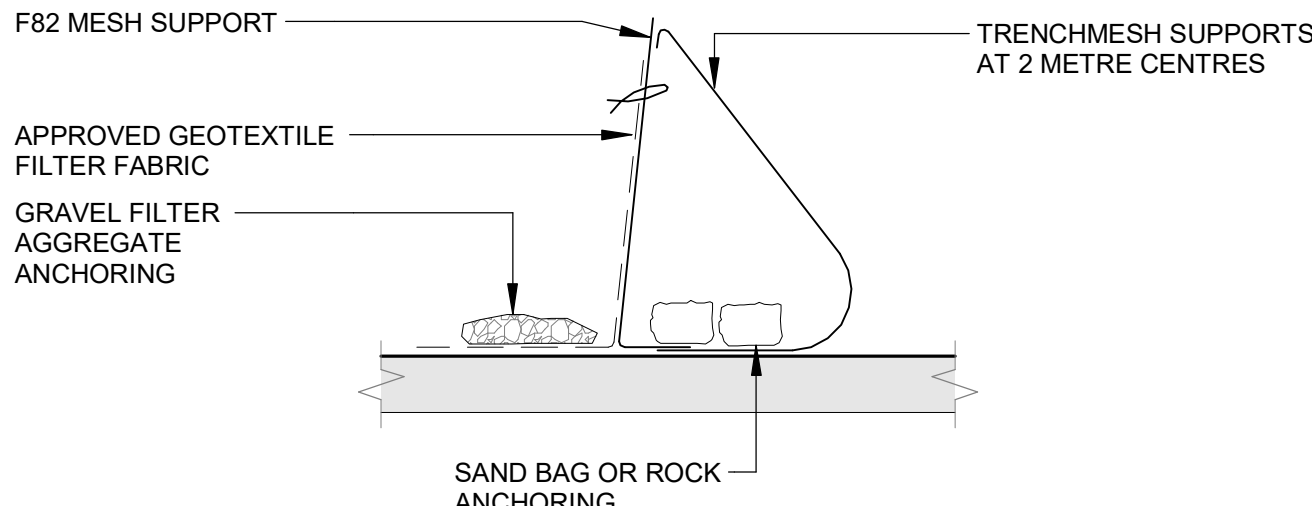
SEDIMENT SILT FENCE  
Scale: 1 : 20



INLET SEDIMENT TRAP  
Scale: 1 : 20

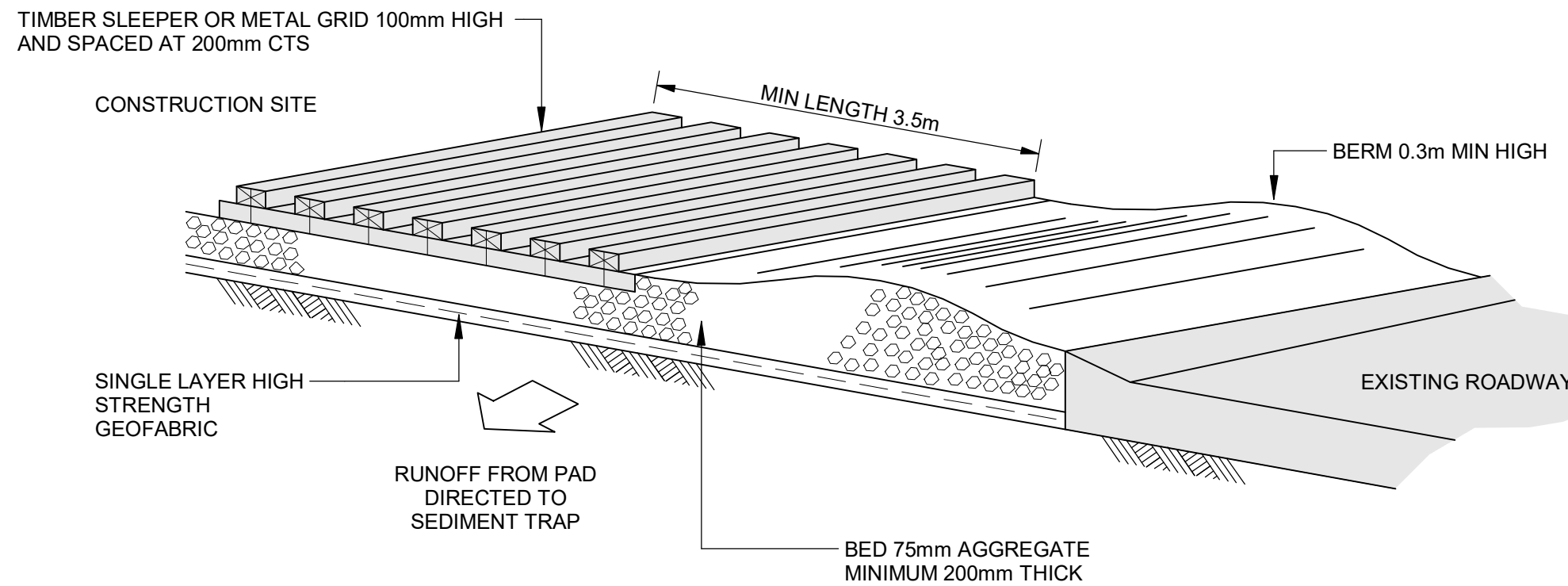


SANDBAG SEDIMENT TRAP  
Scale: 1 : 20



1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
3. JOIN SECTIONS OF FABRIC AT A SUPPORT WITH A 150mm OVERLAP.
4. REFER TO DETAIL SD 6-9 "BLUE BOOK"

SILT FENCE BARRIER DETAIL  
Scale: 1 : 20



TEMPORARY CONSTRUCTION EXIT  
Scale: 1 : 20

#### PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury, NSW

Brewster Murray Architects



DESIGN: RC DRAWN: JPS CHECKED: AMcK SIZE: A1 SCALE: As indicated

#### CIVIL DESIGN

#### NOTES & LEGENDS

201135  
PRELIMINARY  
ESM13





DETERMINED by the New South Wales Land & Housing Corporation on:  
26/9/2022

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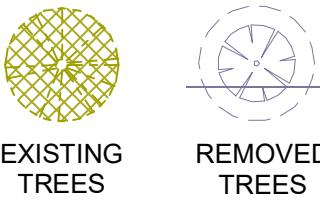
SITE MANAGEMENT LEGEND

- CHAIN WIRE FENCE
- SILT FENCE

ESM - SITE MANAGEMENT SCHEDULE	
TYPE	DESCRIPTION
1	SKIP BIN (PROVIDE COVER)
2	SITE ACCESS GRATE
3	MATERIALS STOCKPILE (RELOCATE AS NECESSARY)
4	TOILET FACILITY
5	SITE SHED

GENERAL LEGEND

- LANDSCAPE
- BYPASS LANDSCAPE
- HARDSTAND
- ROOF AREA TO DRAIN



ENVIRONMENTAL SITE MANAGEMENT LAYOUT  
Scale: 1 : 200

FOR NOISE CONTROL, VIBRATION MANAGEMENT, DUST CONTROL, ODOUR CONTROL REFER TO NOTES ON THIS DRAWING.  
FOR OTHER NOTES (LITTER/WASTE, STORMWATER) REFER ESM1

- NOISE CONTROL**
- WHERE POSSIBLE, STRATEGICALLY PLACE NOISE-GENERATING PLANT / EQUIPMENT TO TAKE ADVANTAGE OF NATURAL SCREENING (E.G. BUILDINGS)
  - AVOID PLACING NOISE-GENERATING PLANT / EQUIPMENT CLOSE TOGETHER AND/OR OPERATE SIMULTANEOUSLY
  - MAINTAIN ALL PLANT & EQUIPMENT TO MINIMISE NOISE EMISSIONS (E.G. REPAIR BROKEN SILENCING EQUIPMENT, TIGHTEN RATTLING COMPONENTS ETC)
  - ALL PLANT & EQUIPMENT TO BE OPERATED IN THE CORRECT MANNER TO AVOID UNNECESSARY NOISE EMISSIONS
  - ALL DELIVERIES TO SITE TO BE IN ACCORD WITH THE RELEVANT CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)
  - NO PUBLIC ADDRESS SYSTEMS TO BE USED EXCEPT IN THE CASE OF EMERGENCIES
  - WHERE NECESSARY, FIT PLANT WITH SILENCERS AND/OR OTHER NOISE ATTENUATION MEASURES
  - ENSURE CONSTRUCTION VEHICLES AND PLANT/EQUIPMENT ARE TURNED OFF WHEN NOT IN USE (I.E. AVOID IDLING)
- VIBRATION MANAGEMENT**
- USE LOW-VIBRATION EMITTING PLANT & EQUIPMENT WHERE POSSIBLE
  - WHERE PRACTICAL, USE NON-PERCUSSIVE PILING TECHNIQUES OR PROVIDE ACCOUSTIC SHIELDING
- DUST CONTROL**
- WHERE POSSIBLE, STAGE ANY VEGETATION REMOVAL TO MINIMISE EXPOSED AREAS
  - AREAS EXPOSED (IN THE SHORT TERM) TO BE STABILISED USING WATERING AND/OR GEO-FABRICS AS APPROPRIATE TO MINIMISE DUST GENERATION
  - MODIFY / REDUCE CONSTRUCTION ACTIVITIES DURING HIGH WIND CONDITIONS IF INCREASED DUST GENERATION IS A POSSIBILITY
  - DUST CONTROL MEASURES TO BE IMPLEMENTED AS THE SITE SUPERVISOR DEEMS APPROPRIATE, INCLUDING WATER CARTS, SPRINKLERS, SPRAYS, DUST SCREENS, ETC
  - CHECK EROSION CONTROL MEASURE REGULARLY TO ENSURE CAPTURED SILT DOES NOT BECOME AIRBORNE
- ODOUR CONTROL**
- SEGRATE AND COLLECT WASTE REGULARLY TO ENSURE ODOURS ARE MINIMISED
  - NO BURNING-OFF OF WASTE AT ANY TIME
  - REMOVE WASTE BINS FROM SITE REGULARLY

REV.	DATE	BY	DESCRIPTION
3	26.11.2021	JPS	ISSUED FOR APPROVAL
2	08.11.2021	JPS	ISSUED FOR APPROVAL
1	21.09.2021	JPS	ISSUED FOR APPROVAL

PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury,  
NSW

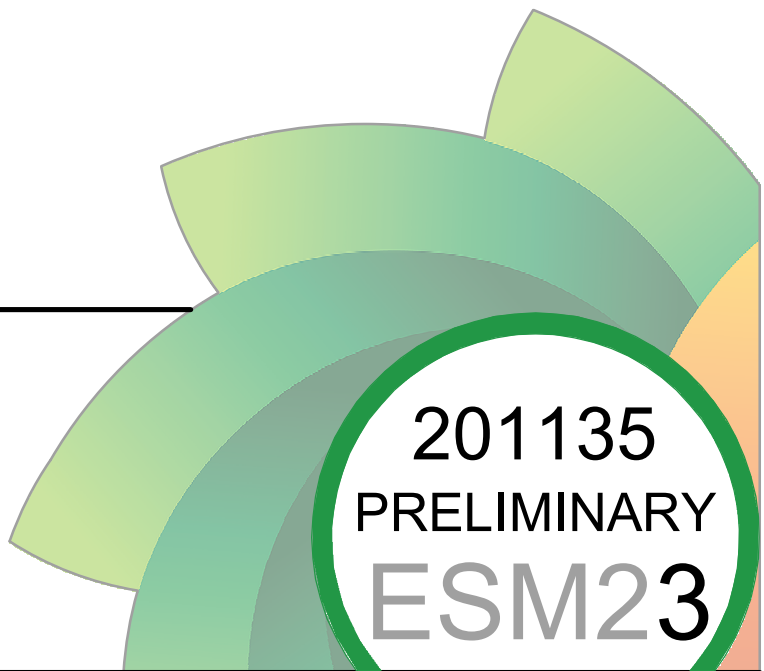
Brewster Murray Architects



DESIGN: RC | DRAWN: JPS | CHECKED: AMcK | SIZE: A1 | SCALE: As indicated

CIVIL DESIGN

ENVIRONMENTAL SITE MANAGEMENT PLAN





DETERMINED by the New South Wales Land & Housing Corporation on:  
**ALEXANDRA STREET**

26/9/2022

EAST STREET



LEGEND



TREES TO BE REMOVED



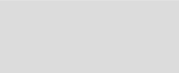
TREES TO BE RETAINED



LANDSCAPE AREA



DWELLINGS



DRIVEWAY

Plant and Soft Landscape Finishes Schedule		Plant Profile	Plant Detail
Drawing Symbol	Description		
	<b>Eucalyptus sideroxylon "Rosea"</b> Rugosa Ironbark Native Tree to 13m x 6m Supply Size : 45 litre Quantity : 4		
	<b>Elaeagnus reticulata</b> Blueberry Ash Native Mature Size : 8m x 5-6m spread Supply Size : 45 litre Quantity : 5		
	<b>Pyrus calleryana "Capital"</b> Ornamental Pear STREET TREE SUBJECT TO COUNCIL SELECTION To 10m x 4m spread Min. Supply Size : 45 litre Quantity : 1		
	<b>Grevillea rooseae "Carberra Gem"</b> Red Flowering Grevillea Carberra Gem Native Hybrid Mature Height 2.4m Min. Supply Size : 5 litre Quantity : 38		
	<b>Dodonaea viscosa</b> Sticky Hop Bush Native Mature Size : To 3m x 1.2m Min. Supply Size : 5 litre Quantity : 73		
	<b>Phoradendron "Red Robin"</b> Red Robin Exotic Mature Size : To 2.0m x 1.2m Min. Supply Size : 5 litre Quantity : 160		
	<b>Correa glabra</b> Native Correa Native Low Growing shrub to 1.2m Min. Supply Size : 5 litre Quantity : 85		
	<b>Grevillea lanigera "Winter Wonder"</b> Native Hybrid Lower Growing Shrub to 1.0m Min. Supply Size : 5 litre Quantity : 52		
	<b>Cordyline "Red Sensation"</b> Dwarf Cordyline Native Hybrid Mature Size to 1.5m Min. Supply Size : 5 litre Quantity : 26		
	<b>Clivia miniata</b> Natal Lily Exotic Mature height variable. In low light conditions to 900 Min. Supply Size : 5 litre Quantity : 20		
	<b>Myoporum parvifolium</b> Creeping Boobialla Native Ground Cover to 300mm Min. Supply Size : 150 Pot Quantity : 50 (R)		
	<b>Lomandra longifolia "Tanka"</b> Tanka Turfing Infill Native Grass to 700mm Quantity : 228		
	<b>Dichandra "Silver Falls"</b> Silver Falls Native Hybrid Shade tolerant but slow growing ground cover Quantity : 30 (R)		
	<b>Hardenbergia violacea</b> Native Sensitive Blue Native Scrambler Min supply size 5 litre Quantity : 55 (R)		
	<b>Clusia hirsutella</b> Fairy Creeper Vine Native Heavy climber or climber on frame to 2.1m dia Min. Supply Size : 5 litre Quantity : 8		
	<b>Dianella caerulea "Little Jess"</b> Little Jess Hybrid Native Mature Height 400mm Min. Supply Size : 150mm Pot Quantity : Silver & 500mm centres Quantity : 110		
	<b>Dianella "Pulsar"</b> Pulsar Turf (or approved equal)		
	<b>Dianella "Pulsar"</b> Pulsar Turf (or approved equal)		



LOCKED BAG 5022  
PARRAMATTA NSW 2124  
Ph 1800 738 718  
www.dpie.nsw.gov.au/land-and-housing-corporation

NOMINATED ARCHITECT:

SIGNATURE:

D	14-03-22	Updated for Part 5
C	09-11-21	Updated for Part 5
B	29-10-21	Updated for Part 5
A	01-09-21	For Review
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT

BREWSTER MURRAY PTY LTD

BCA CONSULTANT

CODE CONDUIT

CONSULTING ENGINEERS

GREENVIEW CONSULTING PTY LTD

LANDSCAPE CONSULTANT

PRECINCT LANDSCAPES

CLIENT

NSW PLANNING & ENVIRONMENT  
LAND & HOUSING CORPORATION

PROJECT

DEVELOPMENT OF 24 UNITS UNDER SEPP  
HOUSING 2021

680, 682, 684 & 688 East Street & 165 Alexandra Street, East  
Albury, NSW  
LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE

LANDSCAPE PLAN

FILE

STATUS

FOR PART 5

DATE

14-03-22

SCALE

1 : 100

PROJ MB

BOXPC

DESIGNER TC

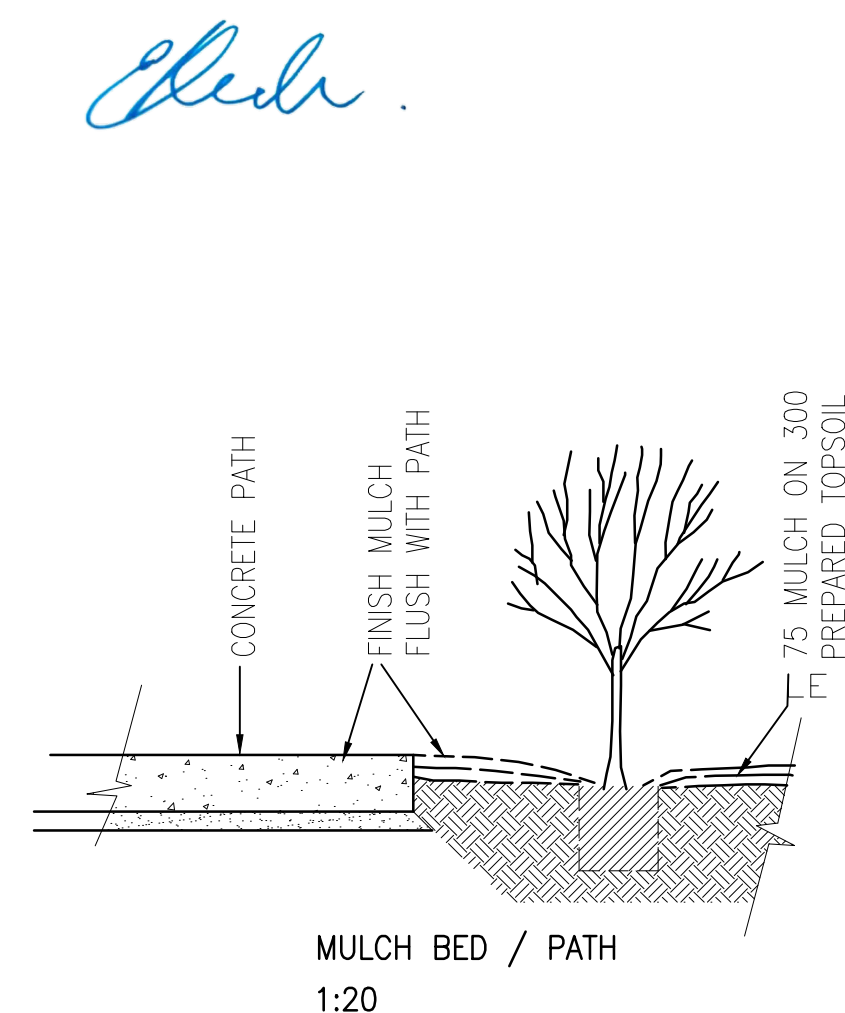
CHECKED TC

REV

LA01

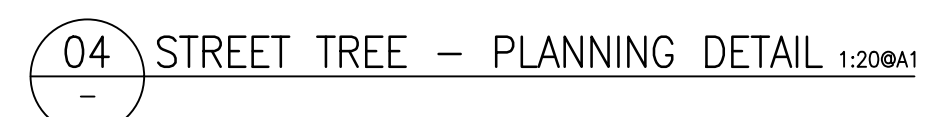
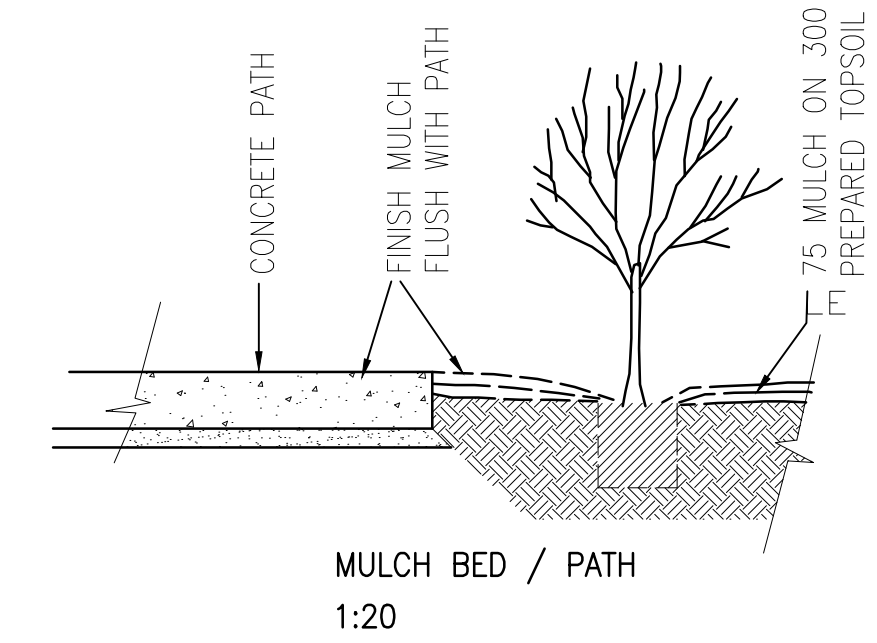
D





PROTECTION ZONE DIAMETER TO BE CONFIRMED BY  
SITE CONSULTING ARBORIST (AQS LEVEL 5)

[illegible]



STATUS			
FOR PART 5			
DATE	SCALE	PROJ	PROJECT No
14-03-22	1 : 100	MB	BGXPC
STAGE	SHEET SIZE	DESIGNER	CHECKED
SK	A1	TC	TC
TYPE	SHEET		REV
	LA02		B