

ACTIVITY DETERMINATION

Project No. BGXPC

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive, NSW Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive, NSW Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed... 

Name... Emma Nicholson Dated ... 26/9/2022

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No. Street or property name

Suburb, town or locality Postcode

Local Government Area(s) Real property description (Lot and DP)

ACTIVITY DESCRIPTION

Provide a description of the activity

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.



Signed.....

Dated..... 26/9/2022

Emma Nicholson
A/Head of Policy and Innovation
Land and Housing Corporation

SCHEDULE 1

Recommended Identified Requirements

PART A – Standard identified requirements

THE DEVELOPMENT

*The following identified requirements are to ensure that the **residential** activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021*

- The development shall be carried out substantially in accordance with the following plans / documents and as modified below by any of the undermentioned identified requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
Cover Sheet	DA00	8	07/03/2022	Brewster Murray Architects
Block Analysis	DA01	5	07/03/2022	Brewster Murray Architects
Site Analysis	DA02	6	07/03/2022	Brewster Murray Architects
Site Plan	DA04	10	07/03/2022	Brewster Murray Architects
Ground Floor Plan	DA05	8	07/03/2022	Brewster Murray Architects
First Floor Plan	DA06	8	07/03/2022	Brewster Murray Architects
Roof Plan	DA07	8	07/03/2022	Brewster Murray Architects
Elevations 1	DA08	10	07/03/2022	Brewster Murray Architects
Elevations 2 and Finishes	DA09	9	07/03/2022	Brewster Murray Architects
Elevations 3	DA10	9	07/03/2022	Brewster Murray Architects
Sections	DA11	6	07/03/2022	Brewster Murray Architects
Landscape Plan	LA01	D	14/03/2022	Precinct Landscapes
Landscape Details	LA02	B	14/03/2022	Precinct Landscapes
Civil Plans Notes and Legends	C01	5	26/11/2021	Greenview Consulting
Civil Plans Ground Floor Drainage	C02	5	26/11/2021	Greenview Consulting
Civil Plans Site Stormwater Details	C03	5	26/11/2021	Greenview Consulting
Civil Plans Notes and Legends	ESM1	3	26/11/2021	Greenview Consulting
Civil Plans Environmental Site Management Plan	ESM2	3	26/11/2021	Greenview Consulting
BASIX Certificate	1222974M_04	-	29/03/2022	Greenview Consulting
Arboricultural Impact Assessment and Tree Management Plan	-	-	05/04/2022	Wade Ryan Consulting

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work are to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following identified requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of the council for the area substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing(s) and layback(s) shall be provided at the entrance(s) / exit(s) to the property. The crossing(s) and layback(s) shall be constructed in accordance with the council for the area's standard requirements for residential crossings. Council shall be provided with plans for the crossing(s) and layback(s) together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback(s)/ driveway(s) shall be borne by the Land & Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with the council's standards.

Note: It is recommended that discussions be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveway(s) shall be constructed of concrete or other approved hard surface materials. The car parking spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of construction works shall be maintained during the entire period of the works and until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design any retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, and if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must be:
 - i. connected to a permanent 240V power supply; and
 - ii. provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. The council for the area shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Council and provide a copy to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arborist report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the construction works by the building contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following identified requirements are to be complied with prior to any work commencing on the site.

Long Service Levy

- ~~24. The long service levy shall be paid by the Land & Housing Corporation to the Long Service Payments Corporation in accordance with the Building & Construction Industry Long Service Payments Act 1986 prior to the commencement of any building and construction works.~~

Note:

~~Where approval has been granted for development by a Crown body other than a council, the amount payable is 0.35% of the contract inclusive of GST.~~

Service Authority Clearances

25. A compliance certificate, or other evidence, shall be obtained from the relevant water utility provider (e.g. the local council for the area, Hunter Water or Sydney Water), confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

26. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
27. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.

28. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier certifying that satisfactory arrangements have been made for the provision of underground gas services, to the site and to each dwelling, shall be obtained prior to work commencing.

Utilities Service Provider Notification

29. The construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Disconnection of Services

30. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
31. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Stormwater Disposal

32. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (eg the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or the council for the area's drainage code.
33. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.

Council Notification

34. The council for the area shall be advised by the building contractor in writing, of the date it is intended to commence work. A minimum period of five (5) working days notification shall be given.

Landfill

35. Where site filling is required, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Laboratory.
36. Land fill materials must satisfy the following requirements:

- i. Shall be Virgin Excavated Natural Matter (VENM);
- ii. Shall be free of slag and hazardous, contaminated, putrescible, toxic or radioactive matter; and
- iii. Shall be free of industrial waste and building debris.

Site Facilities

37. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet shall be a standard flushing toilet and shall be connected to a public sewer. If connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the council for the area or if this is also not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders' storage facilities. Builders' wastes, materials or sheds shall not be placed on any property other than that to which this activity relates.
38. Access to the site shall only be provided via an all weather driveway on the property and shall not be provided from any other site.

Site Safety

39. A sign shall be erected in a prominent position on the site:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and the telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

40. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority may be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

41. Building materials shall not be stored on the council for the area's footpath or roadway.

Protection of Trees

42. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the arborist report.

Waste Management

43. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

DURING CONSTRUCTION

The following identified requirements are to be complied with whilst works are occurring on the site.

Heritage

44. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning and Environment must be contacted, or if Indigenous items have been uncovered, the Department of Environment, Energy and Science shall be contacted.
45. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Coordinator-General of the Department of Environment, Energy and Science.

Survey Reports

46. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Construction / Civil Work

47. Construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays and public holidays.

Excavation & Backfilling

48. All excavations and backfilling associated with the erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

49. Any noise generated during the carrying out of the activity shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines published by the Department of Environment and Climate Change (now Department of Environment, Energy and Science).
50. No fires shall be lit, or waste materials burnt, on the site.
51. No washing of concrete forms or trucks shall occur on the site.

52. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to the appropriate regulatory authorities to minimise any potential damage to the environment.
53. Dust generation during construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
54. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
55. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

56. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
57. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to construction works, damage is caused to such adjoining property.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following identified requirements are to be complied with prior to the occupation of the development.

General

58. The occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Termite Protection

59. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection;
- (b) the date of installation of the system;
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label; and
- (d) the need to maintain and inspect the system on a regular basis.

Council Infrastructure Damage

60. The cost of repairing any damage caused to the council for the area's assets in the vicinity of the site as a result of construction works shall be met in full by the building contractor.

Stormwater Drainage

61. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
- sufficient levels and dimensions to verify the constructed storage volumes; and
 - location and surface levels of all pits; and
 - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
 - finished floor levels of all structures; and
 - verification that any required trash screens have been installed; and
 - locations and levels of any overland flow paths; and
 - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with the council for the area's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and the council for the area.

PART B – Additional identified requirements

Site Specific Requirements

62. Parking space No.10 is to be redesigned to satisfy the requirements of AS4299. This is to be re-assessed and confirmed compliant by a suitably qualified Access Consultant.
63. Footings to be founded in natural soils below any topsoil or fill, in accordance with the recommendations and requirements set out in the Geotechnical Investigation Report 21/0682 prepared by STS GeoEnvironmental dated March 2021.
64. Adequate glazing systems which meet the acoustic requirements as recommended in the SLR Consulting Report *AS 2021 Aircraft Noise Intrusion Assessment* dated April 2022 are required to be confirmed during the detailed design phase and correctly installed and certified by the builder during construction.
65. Amended stormwater drainage plans are to be prepared prior to construction to confirm the invert levels and outlet pipe details of the proposed rainwater storage tank.

Requirements resulting from council comments

66. 6 new street trees will be planted by Albury City Council and will be paid for by the developer prior to the commencement of work. Prior to removing the Council street tree (Claret Ash *Fraxinus Oxycarpus* 'Raywoodii' – Asset ID 18247), the developer is to pay a fee of \$560 per tree to Albury City for the purchase, planting and establishment of 6 advanced replacement street trees (\$3,360 total), White Ash (*Fraxinus americana*).
67. Additional planting is recommended within the north-west corner of the car park to improve shading of the car park. The planting species, quantities and location are to be confirmed with the landscape architect in consultation with the relevant council officer to ensure there is no conflict with existing sewer infrastructure.

68. Update Eastern Elevation (nearest to the driveway on Alexandra Street) to include the same FB-3 brickwork façade treatment as the Southern Elevation (Driveway from East St).

Requirements as requested by public authorities other than councils

69. Nil requirements

Requirements resulting from adjoining occupier comments

70. Nil requirements

Specific service / utility agency requirements

71. Nil requirements

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialling 1100.

BGXPC DEPARTMENT OF PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION



DETERMINED by the New South Wales Land & Housing Corporation on:

Edith

26/9/2022

AT: 680, 682, 684, 688 EAST STREET & 165 ALEXANDRA STREET, EAST ALBURY
LOTS 11-15 DP 243192

LOCATION PLAN



DRAWING LIST

ARCHITECTURAL		
DA00	COVER SHEET	8
DA01	BLOCK ANALYSIS	5
DA02	SITE ANALYSIS	6
DA03	DEMOLITION PLAN	5
DA04	SITE PLAN	10
DA05	GROUND FLOOR PLAN	8
DA06	FIRST FLOOR PLAN	8
DA07	ROOF PLAN	8
DA08	ELEVATIONS 1	10
DA09	ELEVATIONS 2 + FINISHES	9
DA10	ELEVATIONS 3	9
DA11	SECTIONS	6
DA12	CUT & FILL PLAN	6
DA13	SHADOW DIAGRAMS	6
DA14	VIEW FROM SUN DIAGRAMS	5
DA15	SCHEDULE OF EXTERIOR FINISHES	4

DEVELOPMENT DATA

SITE AREA	3377.7m ²		
NO. EXISTING LOTS	5		
PROPOSED GFA	1680m ² *		
TOTAL DWELLINGS	24 (10 x 2 BED + 14 x 1 BED)		
	CONTROL	REQUIREMENT	PROPOSED
BUILDING HEIGHT	HSEPP	9.0m	8.1m
PARKING	HSEPP (NON-ACCESSIBLE RATE)	1 BED x 0.5 = 14 x 0.5 = 7.0 2 BED x 1.0 = 10 x 1.0 = 10.0 TOTAL = 17.0	17 (INCL 2 ADAPTABLE & 1 ACCESSIBLE)
FSR	COUNCIL LEP	NOT ADOPTED	0.50 : 1*
SETBACK	COUNCIL DCP	FRONT SETBACK EQUAL TO EXIST ADJACENT OR MIN 6.0m	6.0 - 8.4m TO EAST ST
		SECONDARY SETBACK 50% OF PRIMARY	4.2m TO ALEXANDRA ST
		SIDE SETBACK 1.5m	4.8m
		REAR SETBACK 3m FOR <4.5m HT 6m FOR >4.5m HT	3.0 / 6.0m REAR
LANDSCAPING	SLUDG	35m ² / UNIT = 840m ² MIN	1313m ²
DEEP SOIL	SLUDG	15% OF SITE AREA WITH 2/3 AT REAR MIN DIMENSION 3m = 506.7m ² MIN (337.8m ² AT REAR)	671m ² (344m ² AT REAR)
SOLAR ORIENTATION	SLUDG	70% OF DWELLINGS HAVE 3 HRS SUNLIGHT BETWEEN 9AM-3PM JUNE 21	17 / 24 UNITS = 71% 22 / 24 P.O.S = 92%

UNIT NO.	TYPE	NO. BEDROOMS	AREA (m ²)	P.O.S. (m ²)
01	GROUND	2 (ADAPTABLE)	79	40
02	GROUND	2 (GOLD LIVEABLE)	72	30
03	GROUND	2 (GOLD LIVEABLE)	72	30
04	GROUND	2 (GOLD LIVEABLE)	73	80
05	GROUND	1 (GOLD LIVEABLE)	54	40
06	GROUND	1 (ADAPTABLE)	59	35
07	GROUND	1 (GOLD LIVEABLE)	52	25
08	GROUND	1 (GOLD LIVEABLE)	52	35
09	GROUND	1 (GOLD LIVEABLE)	52	25
10	GROUND	1 (GOLD LIVEABLE)	52	45
11	GROUND	1 (GOLD LIVEABLE)	52	135
12	GROUND	2 (ADAPTABLE)	79	55
13	FIRST FLOOR	2	79	10
14	FIRST FLOOR	2	72	10
15	FIRST FLOOR	2	72	10
16	FIRST FLOOR	2	73	10
17	FIRST FLOOR	1	56	8.5
18	FIRST FLOOR	1	59	9
19	FIRST FLOOR	1	52	9
20	FIRST FLOOR	1	52	10
21	FIRST FLOOR	1	52	9
22	FIRST FLOOR	1	52	10
23	FIRST FLOOR	1	52	8
24	FIRST FLOOR	2	79	10

ABBREVIATIONS:
GFA = GROSS FLOOR AREA CALCULATED IN ACCORDANCE WITH RELEVANT PLANNING INSTRUMENT
FSR = FLOOR SPACE RATIO CALCULATED IN ACCORDANCE WITH RELEVANT PLANNING INSTRUMENT
AREA = DWELLING FLOOR AREA INCLUDES INTERNAL WALLS BUT EXCLUDES EXTERNAL WALLS
HSEPP = HOUSING SEPP 2021
SLUDG = SENIORS LIVING URBAN DESIGN GUIDELINES
P.O.S = PRIVATE OPEN SPACE



EAST STREET PERSPECTIVE



ALEXANDRA STREET PERSPECTIVE



LOCKED BAG 5022
PARRAMATTA NSW 2124
Ph 1800 738 718
www.dpie.nsw.gov.au/land-and-housing-corporation

NOMINATED ARCHITECT:	SIGNATURE:	8	07-03-22	REVISED FOR HOUSING SEPP
MICHAEL BULLEN		7	05-11-21	REVISED FOR PART 5
		6	29-10-21	REVISED FOR PART 5
		5	15-09-21	ISSUE FOR PART 5
		4	24-08-21	FOR CO-ORDINATION
REV	DATE	NOTATION/AMENDMENT		
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				

ARCHITECT	CONSULTING ENGINEERS
BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD
BCA CONSULTANT	LANDSCAPE CONSULTANT
CODE CONDUIT	PRECINCT LANDSCAPES

CLIENT
**NSW PLANNING & ENVIRONMENT
LAND & HOUSING CORPORATION**

PROJECT
**DEVELOPMENT OF 24 UNITS UNDER SEPP
HOUSING 2021**
680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW
LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE
COVER SHEET

FILE PLOTTED

STATUS SKETCH DESIGN			
DATE 07-03-22	SCALE MB	PROJ MB	PROJECT NO. BGXPC
STRG SK	SHEET SIZE A1	DESIGNER AG	CHECKED MB
TYPE SHEET	DA00		REV 8



PHOTO 1 - 680 EAST STREET



PHOTO 2 - ALEXANDRA STREET



PHOTO 3 - CNR EAST STREET & ALEXANDRA STREET



AERIAL PHOTO SOURCE: NSW SIX MAPS



LOCKED BAG 5022
PARRAMATTA NSW 2124
Ph 1800 738 718
www.dpie.nsw.gov.au/land-and-housing-corporation

NOMINATED ARCHITECT:	SIGNATURE:	5	07-03-22	REVISED FOR HOUSING SEPP	ARCHITECT	GREENVIEW CONSULTING PTY LTD
MICHAEL BULLEN		4	15-09-21	ISSUE FOR PART 5	BREWSTER MURRAY PTY LTD	
		3	24-08-21	FOR CO-ORDINATION		
		2	19-07-21	FOR INFORMATION		
		1	02-07-21	FOR COMMENT		
		REV	DATE	NOTATION/AMENDMENT	BCA CONSULTANT	
				DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.	CODE CONDUIT	

CONSULTING ENGINEERS	CLIENT
GREENVIEW CONSULTING PTY LTD	NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION
LANDSCAPE CONSULTANT	
PRECINCT LANDSCAPES	

PROJECT	TITLE
DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021	BLOCK ANALYSIS
680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW	
LOTS 11, 12, 13, 14 & 15 in DP 243192	

STATUS	SKETCH DESIGN
DATE	07-03-22
SCALE	AS NOTED
PROJECT NO.	MB
PROJECT NO.	BGXP
DESIGNER	AG
CHECKED	MB
TYPE	DA01
REVISION	5

FILE	PLOTTED

K1100 - PROJECT/2021/14265 - LAHC - East St & Alexandra St East Albury/04 - Drawings/03 - DA11-4265 East St - Alexandra St East Albury/04 - 24/03/2022 12:08:00 AM

- LEGEND:**
- DP DOWNPIPE
 - G1 / G2 COLORBOND GUTTER
 - MR1 / MR2 COLORBOND METAL DECK ROOF WITH SARKING/ INSULATION UNDER
 - BG1 BALCONY BOX GUTTER
 - LVR1 ALUMINIUM LOUVRE
 - SS1 / SS2 SUN SHADE

NOTE:
REFER TO FINISHES SCHEDULE FOR MATERIALS

DETERMINED by the New South Wales Land & Housing Corporation on:



26/9/2022

NATHERS Thermal Performance Specification - East Albury			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	R0.7	Med - SA 0.475 - 0.70	As per the Elevations, except below
Cavity Brick	R1.5	Dark - SA > 0.70	Entry stairs & Level 1 stairs in U17
SA - Solar Absorptance			
Internal Walls			
Wall Type	Insulation	Colour	Comments
Single Skin Brick	None		Internally in units
Cavity brick + plasterboard	None		Party walls between units
Cavity brick + plasterboard	None		Party walls between units and corridor/stairs/lobbies
Floors			
Floor Type	Insulation	Colour	Comments
Concrete slab on ground	None		Ground level
Concrete	None		Level 1
Ceilings			
Ceiling Type	Insulation	Colour	Comments
Plasterboard	R2.5		All exposed ceiling throughout except below
Plasterboard	R3.5		Exposed ceiling of U17 & U23
<i>Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.</i>			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foiled-face blanket	Light - SA < 0.475	All exposed roof throughout
SA - Solar Absorptance			
Glazing			
Opening Type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed: All except U1, 4, 6, 11 & 17	6.7	0.70	e.g. Single glazed clear Aluminium frame
Awning + Glazed door: All except U1, 4, 6, 11 & 17	6.7	0.57	e.g. Single glazed clear Aluminium frame
Sliding + Fixed: U1, 4, 6, 11 & 17	4.3	0.53	e.g. Single glazed clear ComfortPlus/Low-e Aluminium frame
Awning + Glazed door: U1, 4, 6, 11 & 17	4.3	0.47	e.g. Single glazed clear ComfortPlus/Low-e Aluminium frame
<i>U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.</i>			
Skytubes			
Skytube Type	Frame Type	Comments	
Fixed	Timber & Aluminium	0.25m2 in: U14-16 & 19-24	
Ceiling fans			
Size	Location	Comments	
min 1200mm in diameter	All bedrooms + Kitchen/Living	na	

Certificate Prepared by

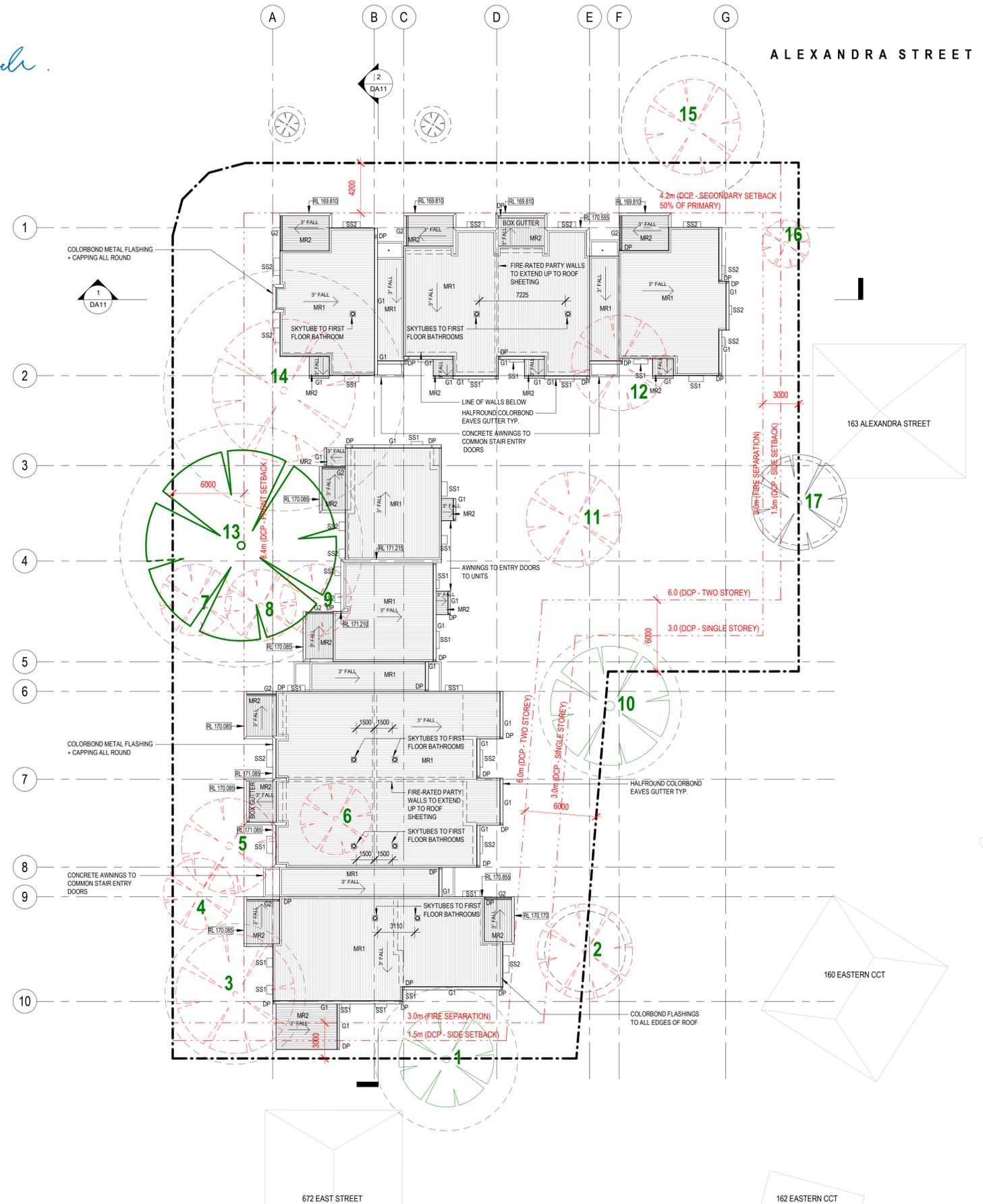


Greenview Consulting Pty Ltd
 ABN: 3260067338
 Email: dean@greenview.net.au Phone: 0404 649 762



1 ROOF PLAN
SCALE 1:200 MM

EAST STREET



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 PARRAMATTA NSW 2124
 Ph 1800 738 718
 www.dpie.nsw.gov.au/land-and-housing-corporation

NOMINATED ARCHITECT:	SIGNATURE:	8 07-03-22	REVISED FOR HOUSING SEPP
MICHAEL BULLEN		7 05-11-21	REVISED FOR PART 5
		6 29-10-21	REVISED FOR PART 5
		5 15-09-21	ISSUE FOR PART 5
		4 03-09-21	FOR CO-ORDINATION
REV	DATE	NOTATION/AMENDMENT	
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			

ARCHITECT	CONSULTING ENGINEERS
BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD
BCA CONSULTANT	LANDSCAPE CONSULTANT
CODE CONDUIT	PRECINCT LANDSCAPES

CLIENT
**NSW PLANNING & ENVIRONMENT
 LAND & HOUSING CORPORATION**

PROJECT
**DEVELOPMENT OF 24 UNITS UNDER SEPP
 HOUSING 2021**
 680, 682, 684 & 688 East Street & 165 Alexandra
 Street, East Albury, NSW
 LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE
ROOF PLAN

FILE PLOTTED

STATUS SKETCH DESIGN			
DATE	SCALE	PROJ	PROJECT No
07-03-22	1:200	MB	BGXPC
SK	SHEET SIZE	DESIGNER	CHECKED
A1	AG	MB	MB
TYPE	SHEET	DA07	REV
			8

DETERMINED by the New South Wales Land & Housing Corporation on: *Chick*

26/9/2022

0006623370 01 Dec 2021

Assessor Dean Gorman
Accreditation No. DMN13/1645

Address
680, 682, 684 & 688 East Street
165 Alexandra Street, East
Albury, NSW, 2640

6.5
Average
star rating

NSW
Housing
HOUSE

www.hstar.com.au



1 NORTH ELEVATION (ALEXANDRA STREET)
SCALE 1:100 MM



2 WEST ELEVATION (EAST STREET)
SCALE 1:100 MM

NSW GOVERNMENT

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PARRAMATTA NSW 2124
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www.dpie.nsw.gov.au/land-and-housing-corporation

NOMINATED ARCHITECT:	SIGNATURE:	10 07-03-22 REVISED FOR HOUSING SEPP
MICHAEL BULLEN		9 07-03-22 REVISED FOR HOUSING SEPP
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REV	DATE	NOTATION/AMENDMENT
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ARCHITECT	CONSULTING ENGINEERS
BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD
BCA CONSULTANT	LANDSCAPE CONSULTANT
CODE CONDUIT	PRECINCT LANDSCAPES

CLIENT
NSW PLANNING & ENVIRONMENT
LAND & HOUSING CORPORATION

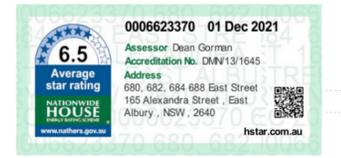
PROJECT
DEVELOPMENT OF 24 UNITS UNDER SEPP
HOUSING 2021

680, 682, 684 & 688 East Street & 165 Alexandra
Street, East Albury, NSW

LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE
ELEVATIONS 1

STATUS	SKETCH DESIGN		
DATE	SCALE	PROJ	PROJECT No
07-03-22	1:200	MB	BGXPC
SK	SHEET SIZE	DESIGNER	CHECKED
	A1	AG	MB
TYPE	SHEET		
	DA08		10



Cluder

DETERMINED by the New South Wales Land & Housing Corporation on:

26/9/2022



1 EAST ELEVATION (REAR OF EAST STREET UNITS)
SCALE 1:100 MM

EXTERIOR FINISHES			
CODE	MATERIAL	DESCRIPTION	FINISH
FB-1		FACE BRICK	BROWN WITH NATURAL VARIATION
FB-2		BALCONY WALLS	WHITE
FB-3		FEATURE BRICK	DARK GREY
MR1		MAIN METAL ROOFS	COLORBOND SHALE GREY (OR SIMILAR)
MR2		SECONDARY METAL ROOFS	COLORBOND WOODLAND GREY (OR SIMILAR)
WCL1		PREFINISHED METAL WEATHERBOARD-LOOK CLADDING	COLORBOND WOODLAND GREY (OR SIMILAR)
G, DP, LVR-1		GUTTERS, DOWNPIPES, METAL FLASHINGS, ALUMINIUM PRIVACY LOUVRES	COLORBOND WOODLAND GREY (OR SIMILAR)
WF, DF, SS1, SS2		ALUMINIUM WINDOW FRAMES, DOOR FRAMES, SUN SHADES	TO MATCH COLORBOND WOODLAND GREY (OR SIMILAR)
P1		PAINT FINISH TO STAIR LOBBY CONCRETE AWNINGS	TO MATCH COLORBOND WOODLAND GREY (OR SIMILAR)
BAL-1		GLASS BALUSTRADES	GREY SEMI-OPAQUE
CC-1		CONCRETE DRIVEWAYS	COLOURED CONCRETE DARK GREY
CONC		CONCRETE COURTYARDS, PATHWAYS	NATURAL GREY CONCRETE
FT1		EXTERIOR NON-SLIP FLOOR TILES	SANDY GREY
FEN-1		COLORBOND METAL FENCING TO BOUNDARIES SOLID PANELS 1.8m HT	COLORBOND SHALE GREY (OR SIMILAR)
FEN-2		SLATTED PRIVACY FENCING	COLORBOND WOODLAND GREY (OR SIMILAR)
FEN-3		BRICK PIERS, GARBAGE AREA WALLS	DARK GREY

INTERIOR FINISHES		
MATERIAL	DESCRIPTION	FINISH
FLOOR TILE	LIVING, DINING, KITCHEN	LARGE FORMAT NON-SLIP SELECTED FLOOR TILE
FLOOR TILE	BATHROOMS, LAUNDRY	NON-SLIP SELECTED CERAMIC FLOOR TILE
CARPET	BEDROOMS	SELECTED CARPET
FLOOR TILE	LOBBIES/ STAIRS	NON-SLIP SELECTED TILE
WALLS	RENDER OVER MASONRY (STAIRS), 10mm IMPACT PLASTERBOARD OVER MASONRY / 13mm IMPACT PLASTERBOARD OVER STUD WALL	PAINTED
CEILING	GROUND FLOOR SUSPENDED 13mm PLASTERBOARD / FIRST FLOOR 13mm PLASTERBOARD	PAINTED

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MICHAEL BULLEN		8 07-03-22 REVISED FOR HOUSING SEPP
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ARCHITECT	CONSULTING ENGINEERS
BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD
BCA CONSULTANT	LANDSCAPE CONSULTANT
CODE CONDUIT	PRECINCT LANDSCAPES

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NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION

PROJECT
DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021
680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW
LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE	
ELEVATIONS 2 + FINISHES	
FILE	PLOTTED

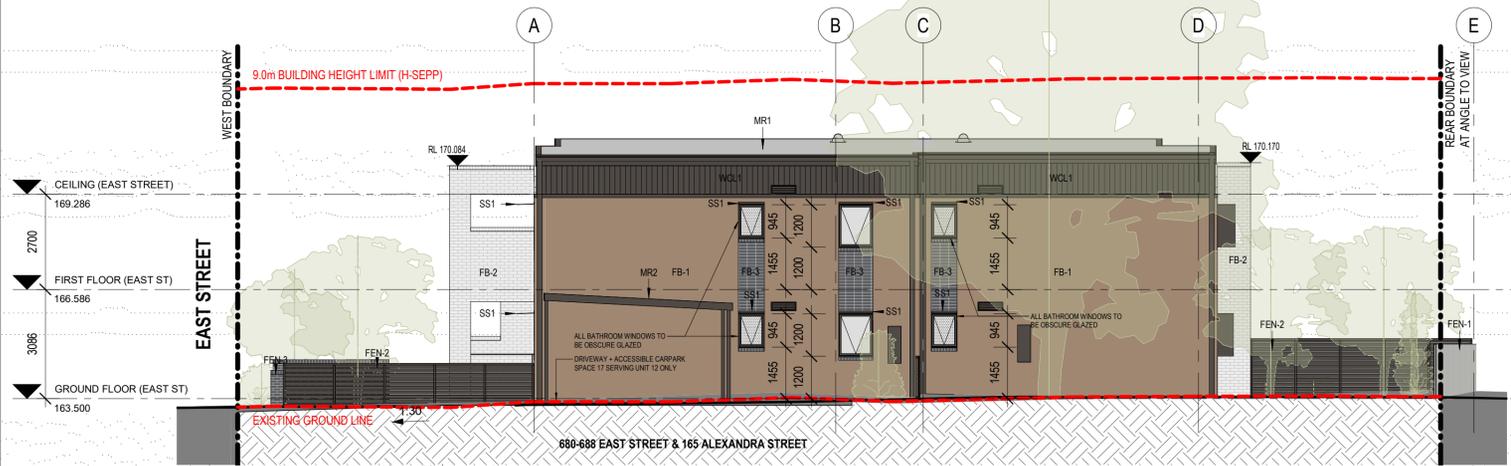
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DATE	07-03-22
SCALE	1 : 100
PROJ	MB
PROJECT NO	BGXPC
DESIGNER	AG
CHECKED	MB
REV	
SHEET	DA09
SHEET	9

DETERMINED by the New South Wales Land & Housing Corporation on:

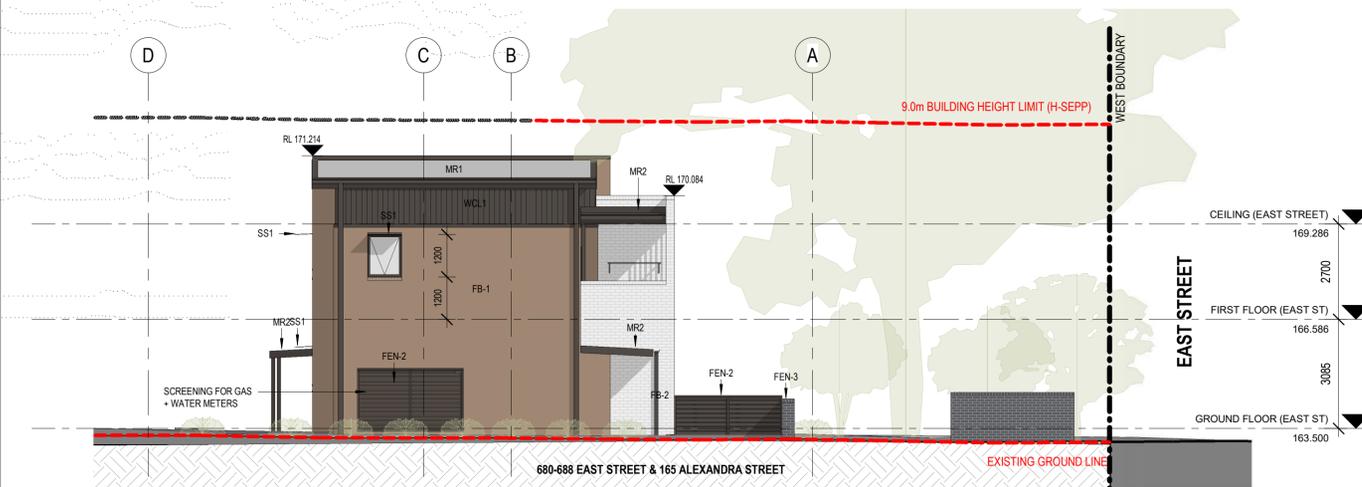
Chubb

26/9/2022

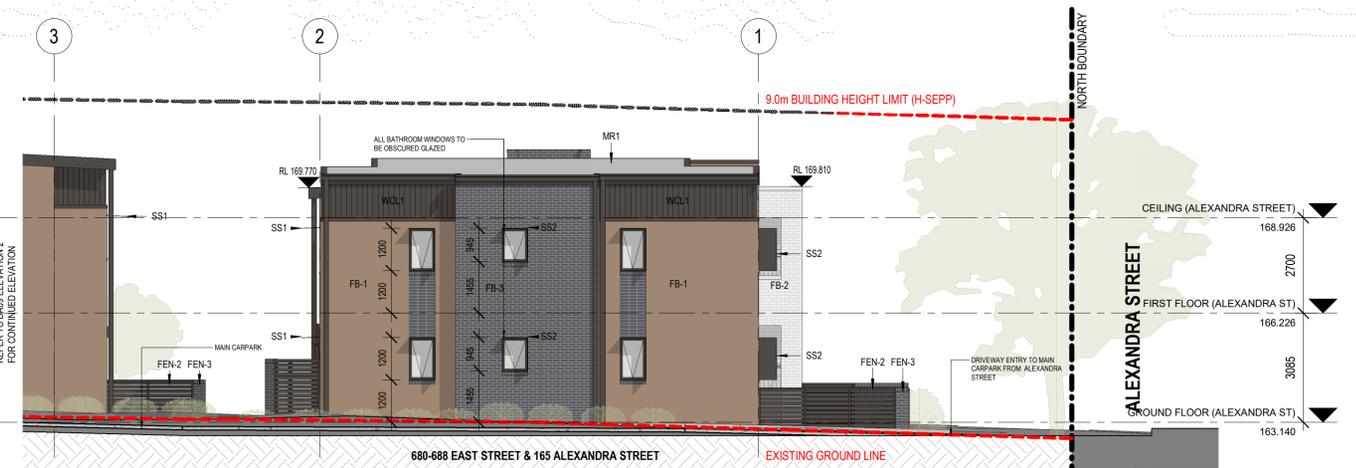
0006623370 01 Dec 2021
 Assessor: Dean Gorman
 Accreditation No: DAN131645
 Address: 680, 682, 684 688 East Street
 165 Alexandra Street, East Albury, NSW, 2640
 www.nshs.com.au hstar.com.au



1 SOUTH ELEVATION (DRIVEWAY FROM EAST STREET)
 SCALE 1:100 MM



2 NORTH ELEVATION (UNIT 17 STAIR)
 SCALE 1:100 MM



3 EAST ELEVATION (DRIVEWAY FROM ALEXANDRA STREET)
 SCALE 1:100 MM



4 SOUTH ELEVATION (REAR OF ALEXANDRA STREET UNITS)
 SCALE 1:100 MM



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ARCHITECT	CONSULTING ENGINEERS
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 LAND & HOUSING CORPORATION**

PROJECT
**DEVELOPMENT OF 24 UNITS UNDER SEPP
 HOUSING 2021**
 680, 682, 684 & 688 East Street & 165 Alexandra
 Street, East Albury, NSW
 LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE
ELEVATIONS 3

STATUS	SKETCH DESIGN		
DATE	SCALE	PROJ	PROJECT NO
07-03-22	1:100	MB	BGXPC
STRG	SHEET SIZE	DESIGNER	CHECKED
SK	A1	AG	MB
TYPE	SHEET		REV
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Chubb

26/9/2022

DETERMINED by the New South Wales Land & Housing Corporation on:

0006623370 01 Dec 2021

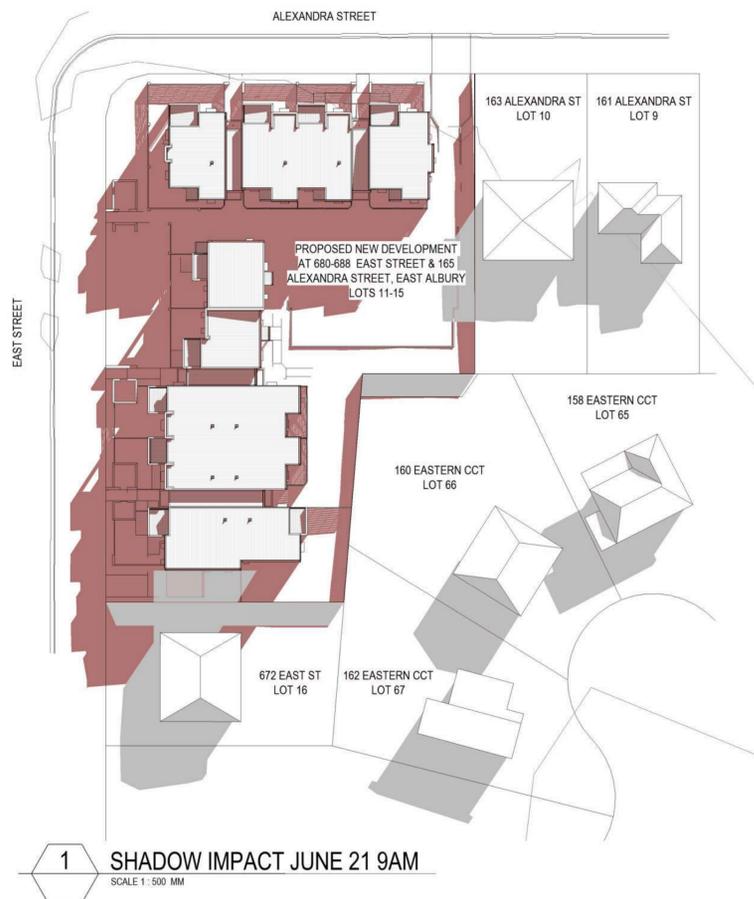
Assessor Dean Gorman
Accreditation No. DIN131645

6.5
Average star rating

Address
680, 682, 684 & 688 East Street
165 Alexandra Street, East
Albury, NSW, 2640

NATIONWIDE HOUSE
www.nshouse.gov.au

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OVERSHADOWING LEGEND:

- GREY AREA INDICATES EXTENT OF SHADOWS CAST BY EXISTING DEVELOPMENT
- PINK AREA INDICATES EXTENT SHADOWS CAST BY PROPOSED DEVELOPMENT

NOTE: NEIGHBOURING PROPERTIES OUTLINES ARE SHOWN INDICATIVE ONLY



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NOMINATED ARCHITECT:	SIGNATURE:	6	07-03-22	REVISED FOR HOUSING SEPP
MICHAEL BULLEN		5	29-10-21	REVISED FOR PART 5
		4	15-09-21	ISSUE FOR PART 5
		3	24-08-21	FOR CO-ORDINATION
		2	19-07-21	FOR INFORMATION
REV	DATE	NOTATION/AMENDMENT		
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LAND & HOUSING CORPORATION**

PROJECT
**DEVELOPMENT OF 24 UNITS UNDER SEPP
HOUSING 2021**

680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW
LOTS 11, 12, 13, 14 & 15 in DP 243192

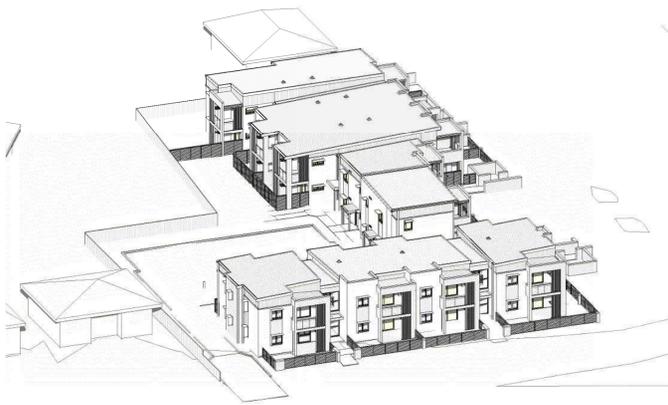
TITLE
SHADOW DIAGRAMS

FILE _____ PLOTTED _____

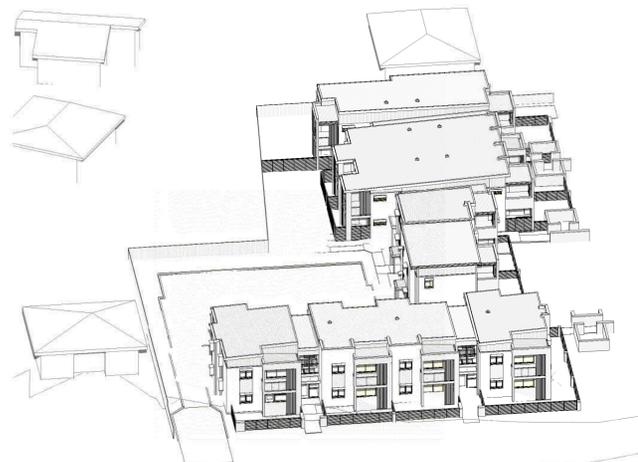
STATUS SKETCH DESIGN			
DATE 07-03-22	SCALE	PRJ MB	PROJECT No BGXPC
STR SK	SHEET SIZE A1	DESIGNER AG	CHECKED MB
TYPE	SHEET	REV 6	
DA13			



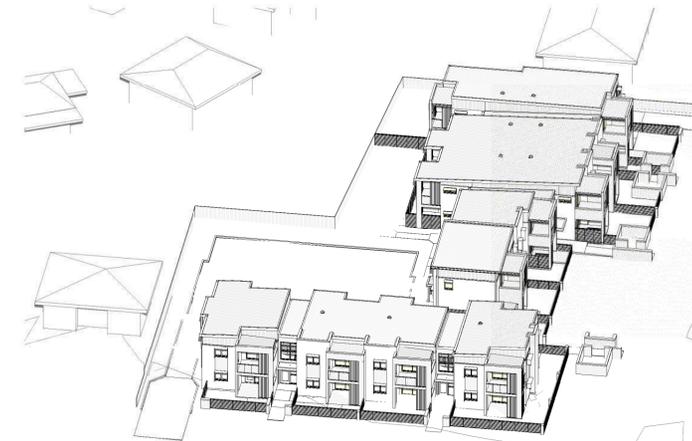
1 VIEW FROM SUN JUNE 21 9AM
SCALE MM



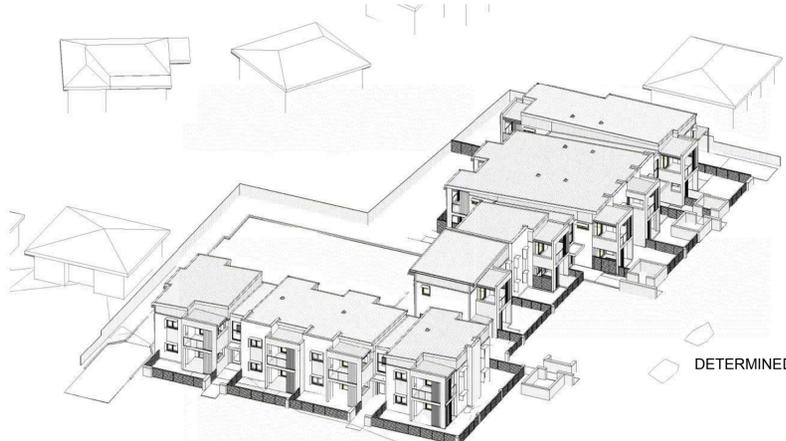
2 VIEW FROM SUN JUNE 21 10AM
SCALE MM



3 VIEW FROM SUN JUNE 21 11AM
SCALE MM



4 VIEW FROM SUN JUNE 21 12PM
SCALE MM



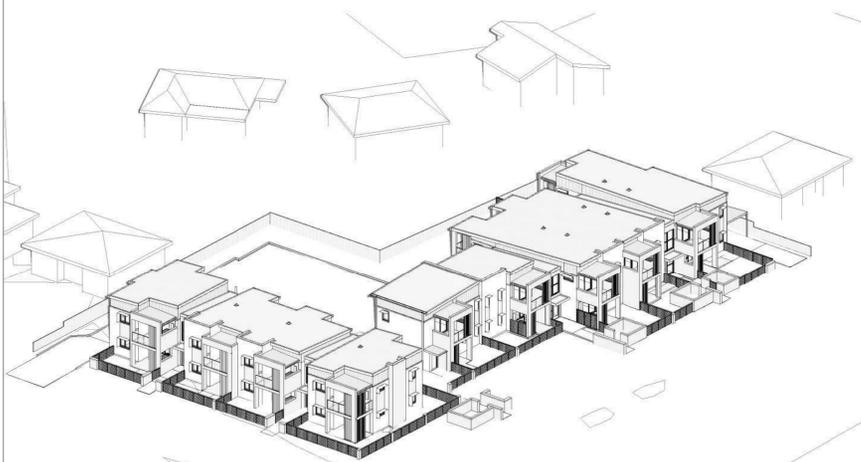
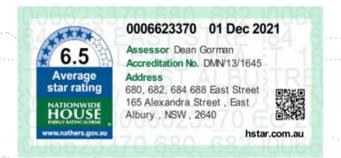
5 VIEW FROM SUN JUNE 21 1PM
SCALE MM

Sketch

26/9/2022

DETERMINED by the New South Wales Land & Housing Corporation on:

WINTER SOLAR ACCESS SUMMARY					3 HRS MIN. LIVING + P.O.S.
UNIT	LIVING AREAS	P.O.S			
01	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
02	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
03	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
04	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
05	1PM - 3PM	2 HRS	11AM - 3PM	4 HRS	
06	9AM - 10AM, 1PM - 3PM	3 HRS	11AM - 3PM	4 HRS	✓
07	9AM - 12PM	3 HRS	9AM - 12PM	3 HRS	✓
08	12PM - 3PM	3 HRS	10AM - 3PM	5 HRS	✓
09	9AM - 10AM	1 HRS	9AM - 11AM	2 HRS	
10	2PM - 3PM	1 HRS	12PM - 3PM	3 HRS	
11	9AM - 11AM	2 HRS	9AM - 12PM	6 HRS	
12	1PM - 3PM	2 HRS	11AM - 3PM	4 HRS	
13	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
14	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
15	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
16	9AM - 3PM	6 HRS	9AM - 3PM	6 HRS	✓
17	9AM - 3PM	6 HRS	11AM - 3PM	4 HRS	✓
18	9AM - 10AM, 1PM - 3PM	3 HRS	11AM - 3PM	4 HRS	✓
19	9AM - 12PM	3 HRS	9AM - 1PM	4 HRS	✓
20	11AM - 3PM	4 HRS	10AM - 3PM	5 HRS	✓
21	9AM - 11AM	2 HRS	9AM - 12PM	2 HRS	
22	1PM - 3PM	2 HRS	11AM - 3PM	4 HRS	
23	9AM - 12PM	3 HRS	9AM - 12PM	3 HRS	✓
24	12PM - 3PM	3 HRS	11AM - 3PM	4 HRS	✓
TOTAL UNITS RECEIVING 3 HRS MIN LIVING + P.O.S: 17/24 UNITS = 71% (70% MIN.)					



6 VIEW FROM SUN JUNE 21 2PM
SCALE MM



7 VIEW FROM SUN JUNE 21 3PM
SCALE MM



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NOMINATED ARCHITECT:	SIGNATURE:	5	07-03-22	REVISED FOR HOUSING SEPP
MICHAEL BULLEN		4	29-10-21	REVISED FOR PART 5
		3	15-09-21	ISSUE FOR PART 5
		2	19-07-21	FOR INFORMATION
		1	02-07-21	FOR COMMENT
REV	DATE	NOTATION/AMENDMENT		
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				

ARCHITECT	CONSULTING ENGINEERS
BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD
BCA CONSULTANT	LANDSCAPE CONSULTANT
CODE CONDUIT	PRECINCT LANDSCAPES

CLIENT
NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION

PROJECT
DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021
680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW
LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE	
VIEW FROM SUN DIAGRAMS	
FILE	PLOTTED

STATUS	SKETCH DESIGN
DATE	07-03-22
SCALE	PROJ MB
SHEET SIZE	DESIGNER AG
TYPE	CHECKED MB
	DA14
	5

26/9/2022

0006623370 01 Dec 2021
 Assessor: Dean Gorman
 Accreditation No: DMN13/1645
 Address: 680, 682, 684 & 688 East Street, 165 Alexandra Street, East Albury, NSW, 2640
 www.nsw.gov.au hstar.com.au



FB-1: FACE BRICK
 BROWN WITH NATURAL VARIATION (SIMILAR TO PGH OPALINE TOURMALINE)



FB-2: BALCONY WALLS
 WHITE (SIMILAR TO PGH HAMPTONS FRESH WHITE)



FB-3, FEN-3: FEATURE BRICK
 DARK GREY (SIMILAR TO PGH URBAN BLUE)



BAL-1 GREY SEMI-OPAQUE



MR2: SECONDARY METAL ROOFS
WCL1: PREFINISHED METAL WALL CLADDING
LVR-1: ALUMINIUM PRIVACY LOUVRES
FEN-2: SLATTED PRIVACY FENCES
 G, DP, ALL ROOF EDGE GUTTERS AND DOWNPIPES
 WF, DF, SS: WINDOW & DOOR FRAMES, ALL FASCIA AND METAL FLASHINGS, SUN SHADES
 (SIMILAR TO COLORBOND WOODLAND GREY)



MR1: MAIN METAL ROOF
FEN-1: BOUNDARY FENCES
 (SIMILAR TO COLORBOND SHALE GREY)



CONC: CONCRETE COURTYARDS, PATHWAYS
 (NATURAL GREY CONCRETE)

CC-1: CONCRETE DRIVEWAYS
 (COLOURED CONCRETE DARK GREY)

NOMINATED ARCHITECT:	SIGNATURE:	REV	DATE	NOTATION/AMENDMENT
MICHAEL BULLEN		4	07-03-22	REVISED FOR HOUSING SEPP
		3	15-09-21	ISSUE FOR PART 5
		2	24-08-21	FOR CO-ORDINATION
		1	19-07-21	FOR INFORMATION
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ARCHITECT	CONSULTING ENGINEERS	CLIENT
BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD	NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION
BCA CONSULTANT	LANDSCAPE CONSULTANT	
CODE CONDUIT	PRECINCT LANDSCAPES	

PROJECT
DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021
680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW
LOTS 11, 12, 13, 14 & 15 in DP 243192

TITLE
SCHEDULE OF EXTERIOR FINISHES
FILE
PLOTTED

STATUS	SKETCH DESIGN
DATE	07-03-22
SCALE	1 : 1
PROJ	MB
PROJECT NO	BGXPC
STAGE	SK
SHEET SIZE	A1
DESIGNER	AG
CHECKED	MB
TYPE	SHEET
DA15	4



DETERMINED by the New South Wales Land & Housing Corporation on:

26/9/2022

CIVIL DESIGN

FOR PROPOSED DEVELOPMENT AT 680-688 East St & 165 Alexandra St, East Albury, NSW

GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION.
- THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- IT IS THE RESPONSIBILITY OF THE TENDERER TO SEEK CLARIFICATION WHERE DOCUMENTATION IS CONFLICTING OR UNCLEAR. WHERE NO CLARITY IS OBTAINED, THE TENDERER IS TO ALLOW FOR BOTH INTERPRETATIONS IN THEIR PRICING.
- CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- ALL DRAINAGE LINES THOUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS, FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS. PLAN TO BE SUBMITTED TO COUNCIL & RMS AS REQUIRED.
- THESE PLANS SHALL BE A READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- ALL TERRACE FLOOR AND PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
- ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANIZED STEP IRONS AT 300 mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS4198-1994.
- ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- PRIOR TO COMMENCING ANY WORKS ON SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- GREENVIEW IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION PROVIDED ON THIS DRAWING.
- ALL LEVELS SHOWN ARE EXPECTED TO BE TO A.H.D.
- ALL CHANGES AND LEVELS ARE IN METERS, AND DIMENSIONS IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- THE SURVEY INFORMATION ON THIS DRAWING HAS BEEN PROVIDED BY THE ARCHITECT.
- CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- IF DRAWINGS BY A REGISTERED SURVEYOR ARE REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT IDENTIFICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN APPROVAL.
- WATER TREATMENT DEVICES TO STRICTLY COMPLY WITH MANUFACTURING SPECIFICATIONS.

EARTHWORK NOTES

- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT OF THE PROPOSED DEVELOPED AREA.
- PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC. AND STRIP TOP SOIL. AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MINIMUM WEIGHT OF 5 TONNES WITH A MINIMUM OF 10 PASSES.
- EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS. THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ± 2%.
- FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1280 5.1.1). MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ± 2% SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO APPROVAL.
- COMPACTING SHALL BE CARRIED OUT AT THE RATE OF 2 TESTS PER 1000SQ METRES PER LAYER BY A REGISTERED NATA LABORATORY. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- BATTERS TO BE AS SHOWN, OR MAXIMUM H:VERT : 4 HORIZ.
- ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- ALL BATTERS AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

DRAINAGE INSTALLATION

RCP CONVENTIONAL

INSTALLATIONS & ROAD CROSSINGS

- SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION. A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
- A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 600 DIA. 200mm CLEARANCE FOR PIPES 600 TO 1200 DIA AND DIE CLEARANCE FOR PIPES > 1200 DIA.
- BEDDING OF THE PIPELINES IS TO BE TYPE 'HS2' IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:
 - COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:

mm	19	2.3600	0.6000	0.3000	0.1500	0.0750
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

-AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.

b. BEDDING DEPTH UNDER THE PIPE TO BE 100mm.

c. BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE HAUNCH ZONE.

d. THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.

e. COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT.

ROOF DRAINAGE

- ALL ROOF DRAINAGE IS TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CURRENT APPLICABLE AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATIONS.
- DOWNPIPES SHOWN ARE INDICATIVE ONLY. REFER ARCHITECTURALS FOR FINAL LOCATIONS.
- ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE, UNLESS APPROVED OTHERWISE BY THE PROJECT ARCHITECT.
- ALL DOWNPIPES TO HAVE LEAF GUARDS.
- ALL EAVES GUTTERS ARE TO BE DESIGNED TO THE 5% AEP (20YR) STORM EVENTS UNO
- ALL EAVES GUTTER OVERFLOWS ARE TO BE IN ACCORDANCE WITH AS3500.3 CS3
- ALL BOX GUTTERS ARE TO BE DESIGNED TO CATER TO THE 1% AEP (100YR) STORM EVENTS UNO
- IN ACCORDANCE WITH AS3500.3 CLAUSE 3.7.6.6. BOX GUTTERS SHALL:
 - BE STRAIGHT (WITHOUT CHANGE IN DIRECTION)
 - HAVE A HORIZONTAL CONSTANT WIDTH BASE (SOLE) WITH VERTICAL SIDES IN A CROSS-SECTION.
 - HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40.
 - DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE OF DIRECTION (I.E. NOT TO THE SIDE); AND
 - BE SEALED TO THE RAINHEADS AND SUMPS.
- GREENVIEW RECOMMENDS THAT THE BUILDER VERIFIES THAT ANY AND ALL BOX GUTTERS HAVE BEEN DESIGNED BY A QUALIFIED CIVIL ENGINEER PRIOR TO THE COMMENCEMENT OF WORKS.
- GREENVIEW RECOMMENDS A SPECIFIC INSPECTION AND CERTIFICATION BY A QUALIFIED CIVIL ENGINEER OF ANY AND ALL BOX GUTTERS INSTALLED ON THE PROJECT PRIOR TO OCCUPATION CERTIFICATE
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

STORMWATER DRAINAGE NOTES

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION
- MINIMUM PIT DIMENSIONS ARE TO BE IN ACCORDANCE WITH AS3500.3 TABLE 7.5.2.1 WHICH PROVIDES GUIDANCE ACCORDING TO PIT DEPTH U.N.O.

TABLE 7.5.2.1

MINIMUM INTERNAL DIMENSIONS FOR STORMWATER AND INLET PITS

Depth to invert of outlet	Minimum internal dimensions mm		
	Rectangular		Circular
	Width	Length	Diameter
≤450	350	350	—
≤600	450	450	600
>600 ≤900	600	600	900
>900 ≤1200	600	900	1000
>1200	900	900	1000

- PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC
- PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO
- ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCIL'S SPECIFICATION.
- PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.
- ALL PLANTER LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER, WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.
- BE 300mm DIA. AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O
- BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.
- ALL PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS
- THE MINIMUM SIZES OF THE STORMWATER DRAINAGE PIPES SHALL NOT BE LESS THAN 80mm DIA FOR CLASS 1 BUILDINGS AND 100mm DIA FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERTS.
- ALL LINED AND COVERED PITS TO BE MIN 450 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- GREENVIEW RECOMMENDS ALL COURTYARDS TO HAVE 450 SQUARE PLASTIC PIT INSTALLED WITH A 150mm DIA. CONNECTION TO FORMAL DRAINAGE SYSTEM.
- ALL DRIVEWAY PITS TO BE MIN 600 SQUARE U.N.O OR LARGER AS REQUIRED BY AS3500.3 TABLE 7.5.2.1
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG
- GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION WHERE APPLICABLE.
- ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE AND PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE.
- ANY VARIATION TO THAT WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO THE COMMENCEMENT.
- ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL GRATES TO HAVE CHILDPROOF LOCKS
- ALL WORK WITHIN COUNCIL RESERVE AREAS TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILLING.
- COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL
- WATER PROOF ALL CONCRETE BALCONIES & ROOFS TO ARCHITECTS DETAILS
- ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW.
- ALL SUBSOIL DRAINAGE SHALL BE A MINIMUM OF 265mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE CONSULTANT.
- SUBSOIL DRAINAGE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL. PROVIDE FLUSHING EYES AT HIGH POINTS OR TO COUNCILS REQUIREMENTS.
- ALL GRATES IN AREAS OF FREQUENT PEDESTRIAN TRAFFIC (IE FOOTPATHS, WALKWAYS, ETC.) TO BE HEELPROOF GRATE.
- REFER ARCHITECTS DETAIL FOR GRATE FINISH (IE STAINLESS STEEL OR GALVANISED).
- GRATES TO BE IN ACCORDANCE WITH TABLE BELOW:

PIT GRATE INLINE TYPE

GRATE TYPE	TRAFFIC CONDITIONS
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES.
C - MEDIUM DUTY	MALLS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICLES.

TABLE AS PER AS3699 - 2006. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.

- COVER TO PIPE TO BE AS PER TABLE BELOW:

COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
LANDSCAPE (SINGLE DWELLING)	PVC	100
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDERSIDE OF PAVEMENT
CONCRETE	STEEL	NIL BELOW UNDERSIDE OF PAVEMENT
ROADS	RCP	500 BELOW UNDERSIDE OF PAVEMENT

STORMWATER DRAINAGE NOTES CONTINUED

- GREENVIEW'S STORMWATER SYSTEM HAS BEEN DESIGNED TO CAPTURE SURFACE RUNOFF FROM THE SITE ITSELF BUT DOES NOT INCORPORATE SPECIFIC GROUNDWATER CAPTURE MECHANISMS. IN SOME CASES GROUNDWATER INUNDATION MAY BE A SIGNIFICANT SOURCE OF WATER DURING A STORM EVENT. GREENVIEW RECOMMENDS THAT ALL RETAINING WALLS CLOSE TO HABITABLE AREAS BE FITTED WITH AN IMPERMEABLE MEMBRANE AND SUBSOIL DRAINAGE TO PREVENT GROUNDWATER INGRESS.
- GREENVIEW RECOMMENDS ALL IN-GROUND STORMWATER PIPE RUNS ARE SET OUT BY THE BUILDER PRIOR TO COMMENCEMENT OF WORKS. WHERE 300mm COVER IS NOT ACHIEVED, NOTIFY ENGINEER.
- WHERE STORMWATER DRAINAGE WORKS ARE TO BE UNDERTAKEN PRIOR TO THE CONSTRUCTION OF THE BUILDING, THE BUILDER IS TO SET OUT THE FLOOR LEVELS AND ENSURE PROPOSED STORMWATER DRAINAGE LEVELS AND BUILDING LEVELS ARE COMPATIBLE. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES.

EXISTING SERVICES



ABBREVIATIONS

DP	DOWN PIPE
FFL	PROPOSED FINISHED FLOOR LEVEL
GL	PROPOSED PIT SURFACE LEVEL
IL	PROPOSED PIT INVERT LEVEL
IO	INSPECTION OPENING
K&G	KERB & GUTTER
P	FINISHED PAVEMENT LEVEL
RCP	REINFORCED CONCRETE PIPE
RKG	ROLL KERB & GUTTER
RL	FINISHED SURFACE LEVEL
RWO	RAINWATER DRAINAGE OUTLET
RWT	PROPOSED RAINWATER TANK
TK	TOP OF NEW KERB LEVEL
TOW	TOP OF NEW RETAINING WALL LEVEL
TWL	TOP OF WATER LEVEL
UPVC	RIGID PVC PIPE
VD	VERTICAL DROPPER

COLOUR LEGEND

NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)
EXISTING
REMOVED OR RELOCATED

GREENVIEW CIVIL SHEET LIST

No.	SHEET NAME	REV.
C01	NOTES & LEGENDS	5
C02	GROUND FLOOR DRAINAGE PLAN	5
C03	SITE STORMWATER DETAILS SHEET 1	5

REV.	DATE	BY	DESCRIPTION
5	26.11.2021	JPS	ISSUED FOR APPROVAL
4	08.11.2021	JPS	ISSUED FOR APPROVAL
3	03.11.2021	JPS	ISSUED FOR APPROVAL
2	07.09.2021	JPS	ISSUED FOR APPROVAL
1	16.07.2021	JPS	ISSUED FOR APPROVAL

PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury, NSW

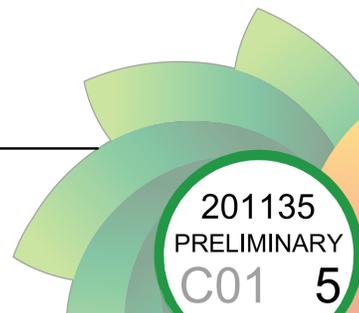
Brewster Murray Architects



DESIGN: RC DRAWN: JPS CHECKED: AMcK SIZE: A1 SCALE: 1 : 100

CIVIL DESIGN

NOTES & LEGENDS



GROUND FLOOR DRAINAGE PLAN

Scale: 1 : 200

GENERAL LEGEND

	LANDSCAPE
	BYPASS LANDSCAPE
	HARDSTAND
	ROOF AREA TO DRAIN

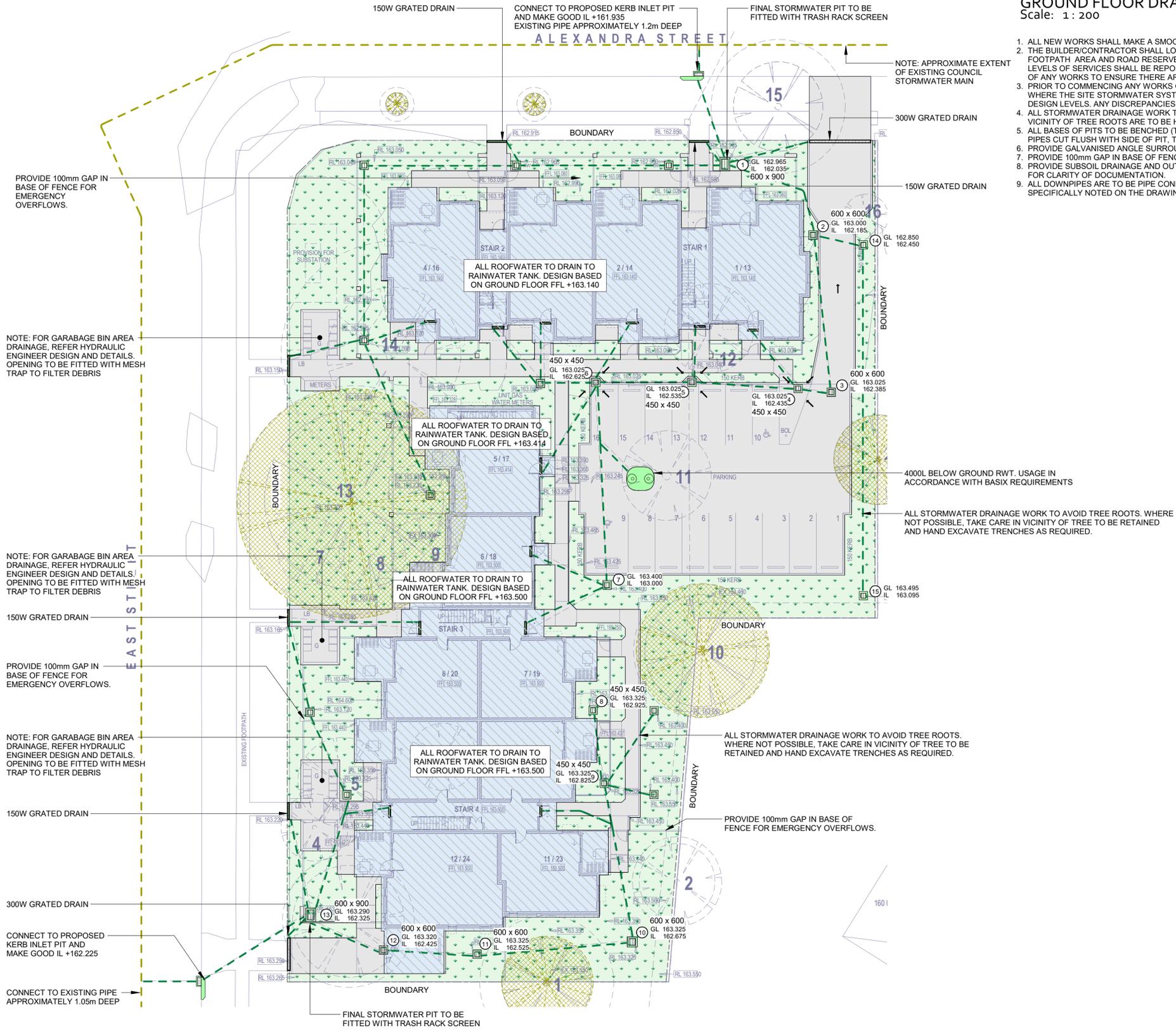
	EXISTING TREES
	REMOVED TREES

- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS. WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- ALL BASES OF PITS TO BE BENCHED (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
- PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.
- PROVIDE 100mm GAP IN BASE OF FENCE FOR EMERGENCY OVERFLOWS.
- PROVIDE SUBSOIL DRAINAGE AND OUTLETS TO ALL ON PODIUM PLANTER BOXES. OUTLET PIPES NOT SHOWN FOR CLARITY OF DOCUMENTATION.
- ALL DOWNPIPES ARE TO BE PIPE CONNECTED INTO THE FORMAL RAINWATER OR STORMWATER LINE UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE.

CIV - FIXTURES SCHEDULE	
TYPE	DESCRIPTION
	GRATED STORMWATER PIT
	PERIMETER STRIP DRAIN
	300W GRATED STRIP DRAIN
	4000L BELOW GROUND RAINWATER TANK

CIV - STANDARD SYMBOLS	
DESCRIPTION	
FALL ARROW	

CIV - STORMWATER SERVICES	
TYPE	DESCRIPTION
	STW STORMWATER
	STW EX EXISTING STORMWATER



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26/9/2022

DETERMINED by the New South Wales Land & Housing Corporation on:

REV.	DATE	BY	DESCRIPTION
5	26.11.2021	JPS	ISSUED FOR APPROVAL
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PROPOSED DEVELOPMENT
 680-688 East St & 165 Alexandra St, East Albury, NSW
 Brewster Murray Architects

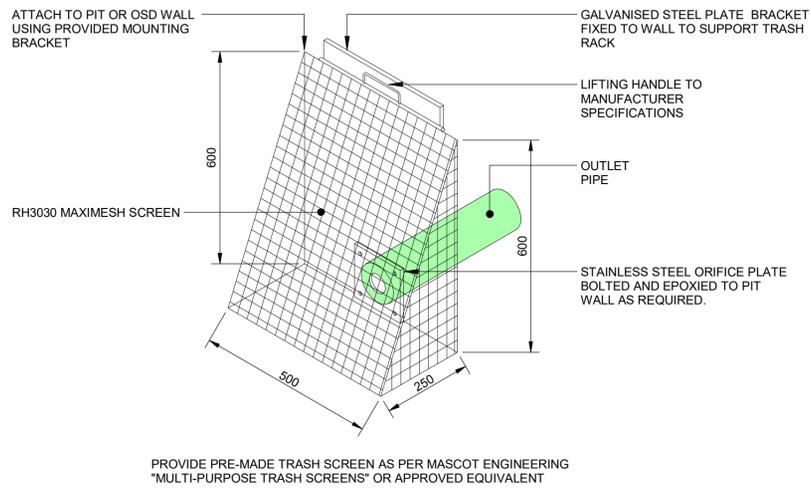
greenview CONSULTING
 (02) 8544 1683 | www.greenview.net.au

DESIGN: RC	DRAWN: JPS	CHECKED: AMcK	SIZE: A1	SCALE: As indicated
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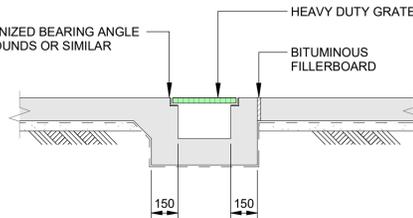
CIVIL DESIGN
 GROUND FLOOR DRAINAGE PLAN

201135
 PRELIMINARY
 C02 5

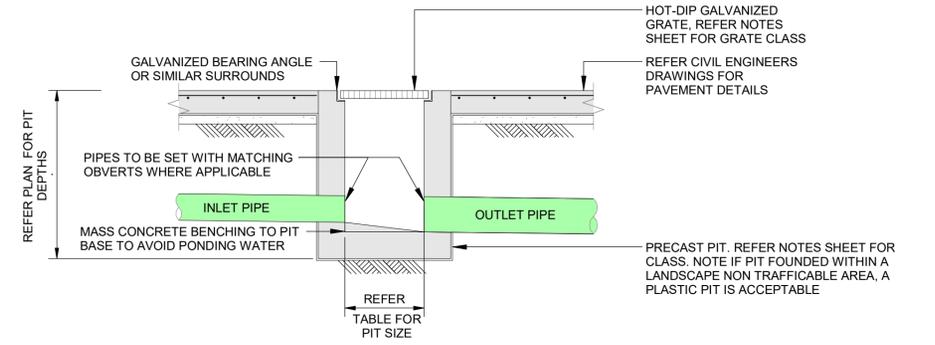
DETERMINED by the New South Wales Land & Housing Corporation on:



TYPICAL TRASH SCREEN DETAIL
Scale: 1 : 10



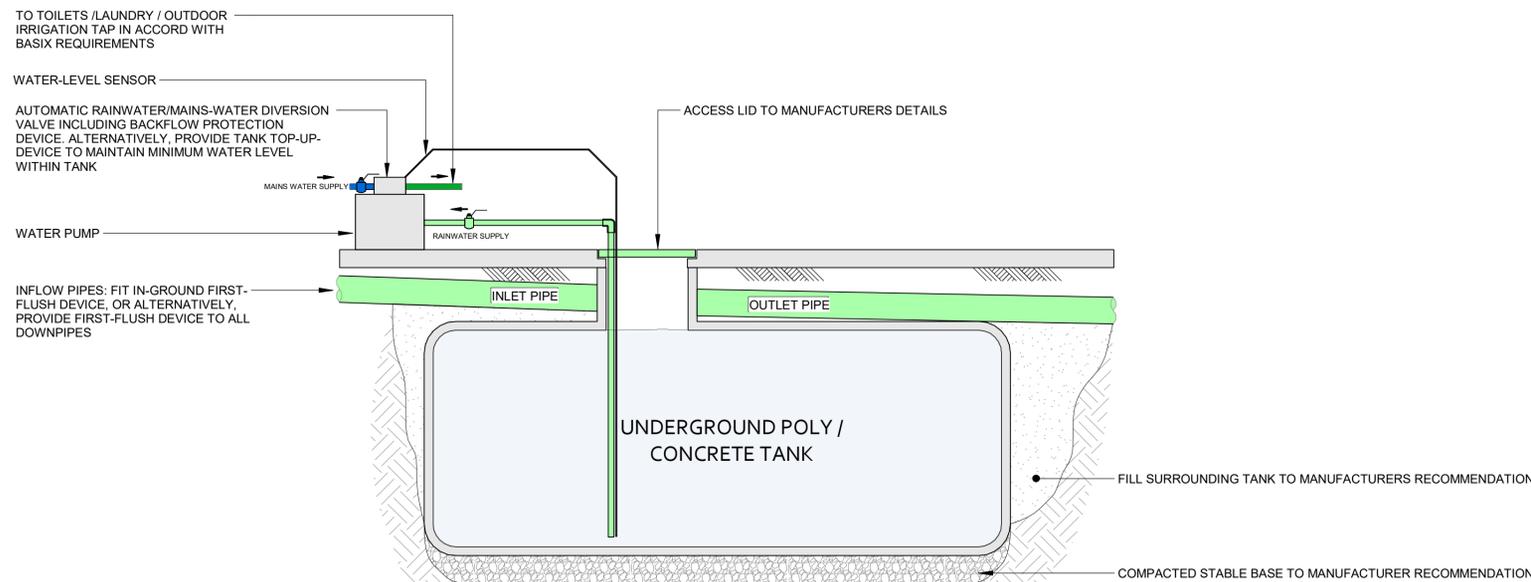
TYPICAL GRATED DRAIN DETAIL
Scale: 1 : 20



1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 90Dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

PIT SIZE	
DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE
Scale: 1 : 20



1. PROVIDE DIVERSION DEVICE AS SHOWN TO ENSURE MAINS-WATER SWITCH-OVER OCCURS ONCE WATER LEVEL IN TANK REACHES THE MINIMUM LEVEL. ALTERNATIVELY, A TOP-UP DEVICE (OR AIR-BREAK SYSTEM) MAY BE EMPLOYED TO ENSURE THE MINIMUM AFTER LEVEL IN THE TANK IS MAINTAINED.
2. RAINWATER FIXTURES, INFLOW AND OUTFLOW PIPES TO AS3500.1 (2003).
3. ANY CONTAINMENT/BACKFLOW PREVENTION DEVICE TO BE IN ACCORD WITH THE LOCAL WATER AUTHORITY.
4. RAINWATER USAGE AND MINIMUM VOLUMES TO BASIX OR AS SPECIFIED BY THE STORMWATER ENGINEER.
5. ALL PIPING SYSTEMS DELIVERING RAINWATER TO TAPS, FIXTURES, OUTLETS OR APPLIANCES MUST BE INSTALLED BY A LICENSED PLUMBER.

TYPICAL BELOW GROUND RAINWATER TANK
Scale: 1 : 20

REV.	DATE	BY	DESCRIPTION
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PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury, NSW

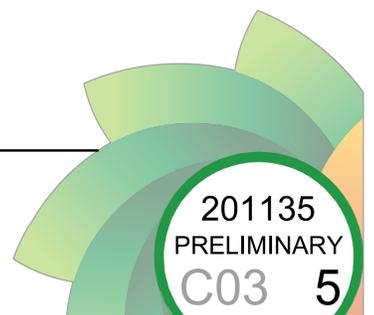
Brewster Murray Architects



DESIGN: RC | DRAWN: JPS | CHECKED: AMcK | SIZE: A1 | SCALE: As indicated

CIVIL DESIGN

SITE STORMWATER DETAILS SHEET 1



CIVIL DESIGN

FOR PROPOSED DEVELOPMENT AT

680-688 East St & 165 Alexandra St, East Albury, NSW

DETERMINED by the New South Wales Land & Housing Corporation on:

26/9/2022

GENERAL INSTRUCTIONS

- THIS SOIL AND WATER MANAGEMENT PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ENGINEERING PLANS RELATING TO THIS DEVELOPMENT.
- CONTRACTORS WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE UNDERTAKEN AS INSTRUCTED IN THIS SPECIFICATION AND CONSTRUCTED FOLLOWING THE GUIDELINES OF "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION", DEPT OF HOUSING, 1998 (BLUE BOOK).
- ALL SUBCONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN REDUCING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE AREAS.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS, WHERE DISCREPANCIES ARE FOUND NOTIFY ENGINEER IMMEDIATELY FOR VERIFICATION.
- WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES.

LAND DISTURBANCE INSTRUCTIONS

- DISTURBANCE TO BE NO FURTHER THAN 5 (PREFERABLY 2) METRES FROM THE EDGE OF ANY ESSENTIAL ENGINEERING ACTIVITY AS SHOWN ON APPROVED PLANS. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE ZONES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ACCESS AREAS ARE TO BE LIMITED TO A MAXIMUM WIDTH OF 10 METRES FROM THE SITE MANAGER WILL DETERMINE AND MARK THE LOCATION OF THESE ZONES ON-SITE. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE BOUNDARIES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ENTRY TO LANDS NOT REQUIRED FOR CONSTRUCTION OR ACCESS IS PROHIBITED EXCEPT FOR ESSENTIAL THINNING OF PLANT GROWTH.
- WORKS ARE TO PROCEED IN THE FOLLOWING SEQUENCE:
 - INSTALL ALL BARRIER AND SEDIMENT FENCING WHERE SHOWN ON THE PLAN.
 - CONSTRUCT THE STABILISED SITE ACCESS.
 - CONSTRUCT DIVERSION DRAINS AS REQUIRED.
 - INSTALL MESH AND GRAVEL INLETS FOR ANY ADJACENT KERB INLETS.
 - INSTALL GEOTEXTILE INLET FILTERS AROUND ANY ON-SITE DROP INLET PITS.
 - CLEAR SITE AND STRIP AND STOCKPILE TOPSOIL IN LOCATIONS SHOWN ON THE PLAN.
 - UNDERTAKE ALL ESSENTIAL CONSTRUCTION WORKS ENSURING THAT ROOF AND/OR PAVED AREA STORMWATER SYSTEMS ARE CONNECTED TO PERMANENT DRAINAGE AS SOON AS PRACTICABLE.
 - GRADE LOT AREAS TO FINAL GRADES AND APPLY PERMANENT STABILISATION (LANDSCAPING) WITHIN 20 DAYS OF COMPLETION OF CONSTRUCTION WORKS.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER THE PERMANENT LANDSCAPING HAS BEEN COMPLETED.
- ENSURE THAT SLOPE LENGTHS DO NOT EXCEED 80 METRES WHERE PRACTICABLE. SLOPE LENGTHS ARE DETERMINED BY SILTATION FENCING AND CATCH DRAIN SPACING.
- ON COMPLETION OF MAJOR WORKS LEAVE DISTURBED LANDS WITH A SCARIFIED SURFACE TO ENCOURAGE WATER INFILTRATION AND ASSIST WITH KEYING TOPSOIL LATER.

SITE MAINTENANCE INSTRUCTIONS

- THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND AT THE CONCLUSION OF EVERY STORM EVENT TO:
 - ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS.
 - REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARDOUS AREAS, INCLUDING LANDS CLOSER THAN 5 METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS.
 - REMOVE TRAPPED SEDIMENT WHENEVER THE DESIGN CAPACITY OF THAT STRUCTURE HAS BEEN EXCEEDED.
 - ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND NOT TO INITIATE UPGRADING OR REPAIR AS NECESSARY.
 - CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS. MAKE ONGOING CHANGES TO THE PLAN WHERE IT PROVES INADEQUATE IN PRACTICE OR IS SUBJECT TO CHANGES IN CONDITIONS ON THE WORK-SITE OR ELSEWHERE IN THE CATCHMENT.
 - MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED.

THE SITE SUPERINTENDENT WILL KEEP A LOGBOOK MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL. ENTRIES WILL INCLUDE:

- THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS.
- THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS.
- THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE.
- THE NEED FOR DUST PREVENTION STRATEGIES.
- ANY REMEDIAL WORKS TO BE UNDERTAKEN.

THE LOGBOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON UPON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF THE WORKS.

SAFETY IN DESIGN NOTES

- THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING. WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS, AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

SEDIMENT CONTROL INSTRUCTIONS

- SEDIMENT FENCES WILL BE INSTALLED AS SHOWN ON THE PLAN AND ELSEWHERE AT THE DISCRETION OF THE SITE SUPERINTENDENT TO CONTAIN SOIL AS NEAR AS POSSIBLE TO THEIR SOURCE.
- SEDIMENT FENCES WILL NOT HAVE CATCHMENT AREAS EXCEEDING 900 SQUARE METRES AND HAVE A STORAGE DEPTH OF AT LEAST 0.6 METRES.
- SEDIMENT REMOVED FROM ANY TRAPPING DEVICES WILL BE RELOCATED WHERE FURTHER POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS CANNOT OCCUR.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 5 METRES OF HAZARDOUS AREAS INCLUDING AREAS OF HIGH VELOCITY FLOWS SUCH AS WATERWAYS, PAVED AREAS AND DRIVEWAYS.
- WATER WILL BE PREVENTED FROM DIRECTLY ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR WATER HAS BEEN TREATED BY AN APPROVED DEVICE.
- TEMPORARY SEDIMENT TRAPS WILL REMAIN IN PLACE UNTIL AFTER THE LANDS THEY ARE PROTECTING ARE COMPLETELY REHABILITATED.
- ACCESS TO SITES SHOULD BE STABILISED TO REDUCE THE LIKELIHOOD OF VEHICLES TRACKING SOIL MATERIALS ONTO PUBLIC ROADS AND ENSURE ALL-WEATHER ENTRY/EXIT.

SOIL EROSION CONTROL INSTRUCTIONS

- EARTH BATTERS WILL BE CONSTRUCTED WITH AS LOW A GRADIENT AS PRACTICABLE BUT NO STEEPER, UNLESS OTHERWISE NOTED, THAN:
 - 2(H):1(V) WHERE SLOPE LENGTH LESS THAN 12 METRES.
 - 2.5(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 16 METRES.
 - 3(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 20 METRES.
 - 4(H):1(V) WHERE SLOPE LENGTH GREATER THAN 20 METRES.
- ALL WATERWAYS, DRAINS, SPILLWAYS AND THEIR OUTLETS WILL BE CONSTRUCTED TO BE STABLE IN AT LEAST THE 1:20 YEAR ARI, TIME OF CONCENTRATION STORM EVENT.
- WATERWAYS AND OTHER AREAS SUBJECT TO CONCENTRATED FLOWS AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.05 (70% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION. FLOW VELOCITIES ARE TO BE LIMITED TO THOSE SHOWN IN TABLE 5-1 OF "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION", DEPT OF HOUSING 1998 (BLUE BOOK). FOOT AND VEHICULAR TRAFFIC WILL BE PROHIBITED IN THESE AREAS.
- STOCKPILES AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.1 (60% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION.
- ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.15 (50% GROUND COVER) WITHIN 20 WORKING DAYS FROM INACTIVITY EVEN THOUGH WORKS MAY CONTINUE LATER.
- FOR AREAS OF SHEET FLOW USE THE FOLLOWING GROUND COVER PLANT SPECIES FOR TEMPORARY COVER: JAPANESE MILLET 20 KG/HA AND OATS 20 KG/HA.
- PERMANENT REHABILITATION OF LANDS AFTER CONSTRUCTION WILL ACHIEVE A GROUND COVER C-FACTOR OF LESS THAN 0.1 AND LESS THAN 0.05 WITHIN 60 DAYS. NEWLY PLANTED LANDS WILL BE WATERED REGULARLY UNTIL AN EFFECTIVE COVER IS ESTABLISHED AND PLANTS ARE GROWING VIGOROUSLY. FOLLOW-UP SEED AND FERTILISER WILL BE APPLIED AS NECESSARY.
- REVEGETATION SHOULD BE AIMED AT RE-ESTABLISHING NATURAL SPECIES. NATURAL SURFACE SOILS SHOULD BE REPLACED AND NON-PERSISTENT ANNUAL COVER CROPS SHOULD BE USED.

WASTE CONTROL INSTRUCTIONS

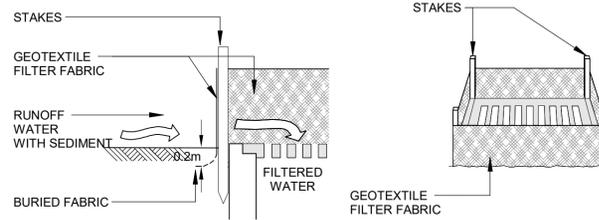
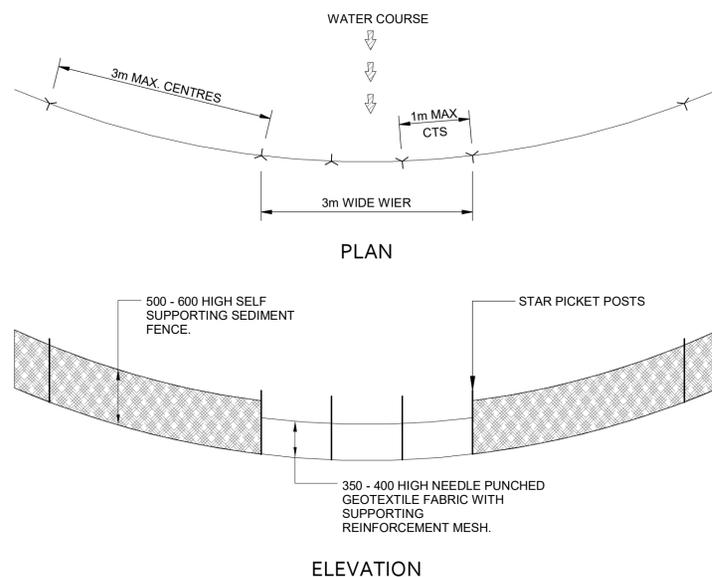
- ACCEPTABLE BINS WILL BE PROVIDED FOR ANY CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHTWEIGHT WASTE MATERIALS AND LITTER. CLEARANCE SERVICES WILL BE PROVIDED AT LEAST WEEKLY. DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- ALL POSSIBLE POLLUTANT MATERIALS ARE TO BE STORED WELL CLEAR OF ANY POORLY DRAINED AREAS, FLOOD PRONE AREAS, STREAMBANKS, CHANNELS AND STORMWATER DRAINAGE AREAS. STORE SUCH MATERIALS IN A DESIGNATED AREA UNDER COVER WHERE POSSIBLE AND WITHIN CONTAINMENT BUNDS.
- ALL SITE STAFF AND SUB-CONTRACTORS ARE TO BE INFORMED OF THEIR OBLIGATION TO USE WASTE CONTROL FACILITIES PROVIDED.
- ANY DE-WATERING ACTIVITIES ARE TO BE CLOSELY MONITORED TO ENSURE THAT WATER IS NOT POLLUTED BY SEDIMENT, TOXIC MATERIALS OR PETROLEUM PRODUCTS.
- PROVIDE DESIGNATED VEHICULAR WASHDOWN AND MAINTENANCE AREAS WHICH ARE TO HAVE CONTAINMENT BUNDS.

PROCEDURE FOR DE-WATERING

- ENSURE PERMISSION FOR DE-WATERING IS RECEIVED FROM AUTHORITIES BEFORE PUMPING OUT.
- AN ON-SITE TREATMENT PROCESS DISCHARGING TO THE STORMWATER SYSTEM WILL BE IMPLEMENTED. ALL SITE WATERS DURING CONSTRUCTION WILL BE CONTAINED ON SITE AND RELEASED ONLY WHEN pH IS BETWEEN 8.5 & 6.5, SUSPENDED SOLIDS ARE LESS THAN 50mg/L, TURBIDITY LESS THAN 100 NTU'S, OIL AND GREASE LESS THAN 10mg/L, AND BIOCHEMICAL OXYGEN DEMAND (BOD5) LESS THAN 30mg/L (FOR STORMS LESS THAN 1 IN 5 YEAR EVENTS).
- METHODS OF SAMPLING AND ANALYSIS OF WATER QUALITY WILL BE IN ACCORDANCE WITH THE APPLICABLE METHOD LISTED IN THE EPA PUBLISHED APPROVED METHODS FOR THE SAMPLING ANALYSIS OF WATER POLLUTANTS IN NEW SOUTH WALES.
- WHERE LABORATORY ANALYSIS IS REQUIRED AS INDICATED BY IN-SITU TESTING, APPROPRIATE SAMPLE BOTTLES AND PRESERVATIVES WILL BE USED AND GUIDANCE FOR THE SAMPLING METHOD OBTAINED FROM APPLICABLE PARTS OF ASS667.1 AND ASS667.2. ANALYSIS WILL BE UNDERTAKEN WHERE PRACTICAL BY A NATA REGISTERED LABORATORY CERTIFIED TO PERFORM THE APPLICABLE ANALYSIS.
- AS EXCAVATION TO TOP SOIL PROGRESSES, ANY WATER COLLECTED AT THE BOTTOM OF EXCAVATIONS WILL BE DIVERTED TO A TEMPORARY SEDIMENTATION BASIN OR SETTLEMENT TANK. IF THE WATER CONTAINS ONLY SEDIMENTS, IT WILL BE FILTERED AND PUMPED TO STORMWATER BEFORE THIS CAN HAPPEN IT MUST CONTAIN LESS THAN 50mg/L TOTAL SUSPENDED SOLIDS. POLLUTED WATER MUST NOT ENTER THE STORMWATER SYSTEM. IN SOME CIRCUMSTANCES, A LIQUID WASTE COMPANY MAY BE REQUIRED TO COLLECT CONTAMINATED WATER FOR DISPOSAL AT A LICENSED TREATMENT FACILITY.

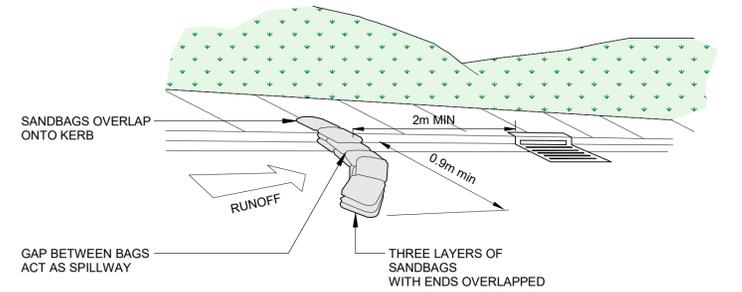
THE BUILDER AND EXCAVATION CONTRACTOR ARE TO ENSURE ANY WATER DISCHARGED INTO COUNCIL STORMWATER SYSTEM FROM THE EXCAVATED PORTIONS OF THE SITE COMPLY WITH THE RELEVANT ENVIRONMENTAL CRITERIA AND APPROPRIATE CONTROL METHODS SHALL BE ADOPTED. THE PROPOSED CONTROL METHODS ARE STRICTLY TO COMPLY WITH THE ANZECC 2000 GUIDELINES.

WHERE WORK INVOLVES EXCAVATION OR STOCKPILING OF RAW OR LOOSE MATERIALS, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROVIDED WHOLLY WITHIN THE SITE WHILST WORK IS BEING CARRIED OUT IN ORDER TO PREVENT SEDIMENT AND SILT FROM SITE WORKS BEING CONVEYED BY STORMWATER INTO COUNCIL'S STORMWATER SYSTEM. NATURAL WATER COURSES, BUSHLANDS, AND NEIGHBORING PROPERTIES. IN THIS REGARD, ALL STORMWATER DISCHARGE FROM THE SITE SHALL MEET THE REQUIREMENTS OF THE PROTECT OF ENVIRONMENT OPERATIONS ACT 1997 AND THE DEPARTMENT OF ENVIRONMENT, CLIMATE CHANGE AND WATER GUIDELINES. THE CONTROL DEVICES ARE TO BE MAINTAINED IN A SERVICEABLE CONDITION AT ALL TIMES.



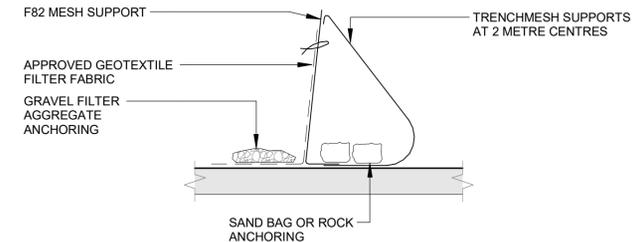
INLET SEDIMENT TRAP

Scale: 1:20



SANDBAG SEDIMENT TRAP

Scale: 1:20



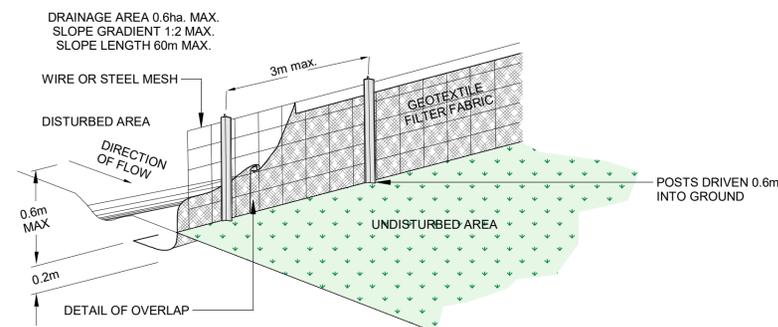
- CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
- FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
- JOIN SECTIONS OF FABRIC AT A SUPPORT WITH A 150mm OVERLAP.
- REFER TO DETAIL SD 6-9 "BLUE BOOK"

SILT FENCE BARRIER DETAIL

Scale: 1:20

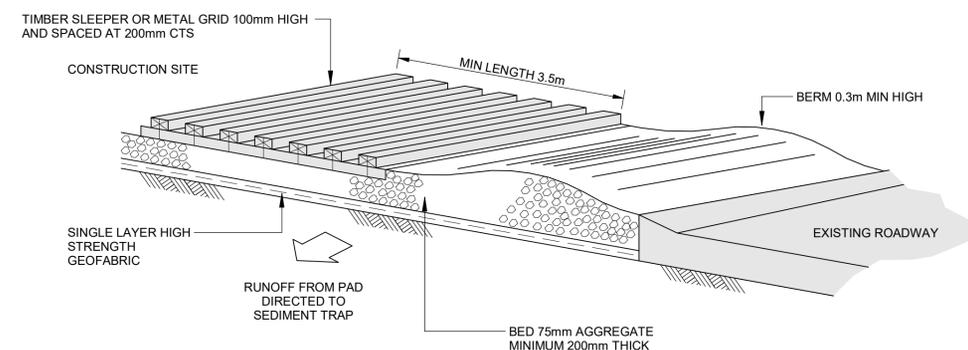
ESM SEDIMENT FENCE WEIR

Scale: 1:20



SEDIMENT SILT FENCE

Scale: 1:20



TEMPORARY CONSTRUCTION EXIT

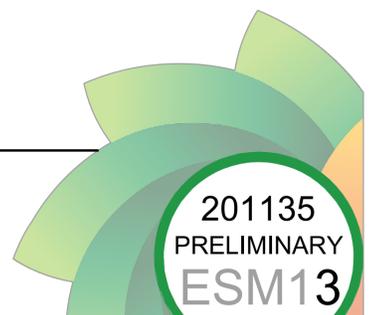
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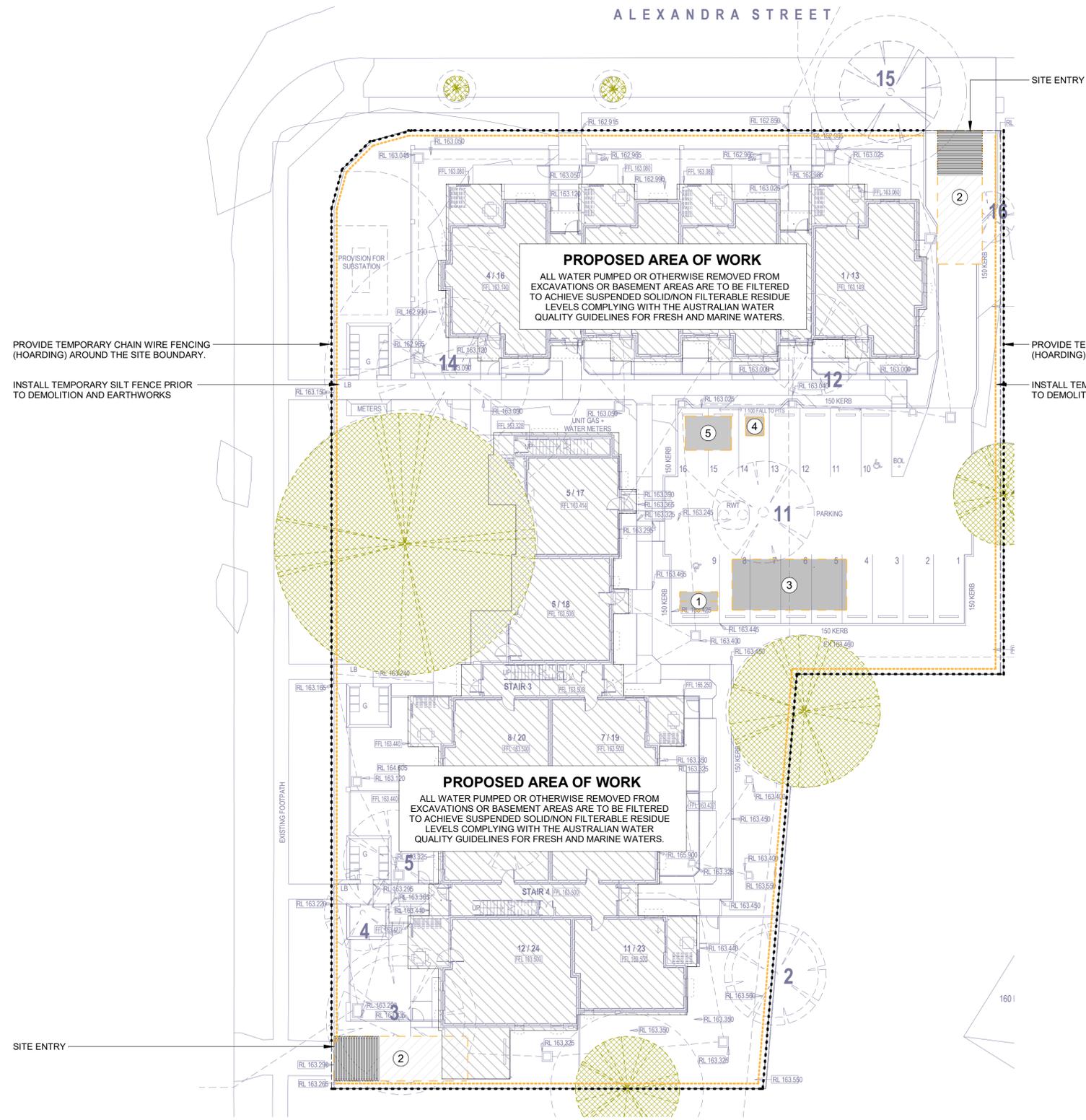
REV.	DATE	BY	DESCRIPTION
3	26.11.2021	JPS	ISSUED FOR APPROVAL
2	08.11.2021	JPS	ISSUED FOR APPROVAL
1	21.09.2021	JPS	ISSUED FOR APPROVAL

PROPOSED DEVELOPMENT	
680-688 East St & 165 Alexandra St, East Albury, NSW	
Brewster Murray Architects	

<p>greenview CONSULTING (02) 8544 1683 www.greenview.net.au</p>	
DESIGN: RC	DRAWN: JPS
CHECKED: AMcK	SIZE: A1
SCALE: As indicated	

CIVIL DESIGN	
NOTES & LEGENDS	





DETERMINED by the New South Wales Land & Housing Corporation on:
26/9/2022

Cher

SITE MANAGEMENT LEGEND

- CHAIN WIRE FENCE
- SILT FENCE

ESM - SITE MANAGEMENT SCHEDULE	
TYPE	DESCRIPTION
1	SKIP BIN (PROVIDE COVER)
2	SITE ACCESS GRATE
3	MATERIALS STOCKPILE (RELOCATE AS NECESSARY)
4	TOILET FACILITY
5	SITE SHED

GENERAL LEGEND

- LANDSCAPE
- BYPASS LANDSCAPE
- HARDSTAND
- ROOF AREA TO DRAIN

- EXISTING TREES
- REMOVED TREES

- NOISE CONTROL**
- WHERE POSSIBLE, STRATEGICALLY PLACE NOISE-GENERATING PLANT / EQUIPMENT TO TAKE ADVANTAGE OF NATURAL SCREENING (E.G. BUILDINGS)
 - AVOID PLACING NOISE-GENERATING PLANT / EQUIPMENT CLOSE TOGETHER AND/OR OPERATE SIMULTANEOUSLY
 - MAINTAIN ALL PLANT & EQUIPMENT TO MINIMISE NOISE EMISSIONS (E.G. REPAIR BROKEN SILENCING EQUIPMENT, TIGHTEN RATTLING COMPONENTS ETC)
 - ALL PLANT & EQUIPMENT TO BE OPERATED IN THE CORRECT MANNER TO AVOID UNNECESSARY NOISE EMISSIONS
 - ALL DELIVERIES TO SITE TO BE IN ACCORD WITH THE RELEVANT CONSTRUCTION TRAFFIC MANAGEMENT PLAN (CTMP)
 - NO PUBLIC ADDRESS SYSTEMS TO BE USED EXCEPT IN THE CASE OF EMERGENCIES
 - WHERE NECESSARY, FIT PLANT WITH SILENCERS AND/OR OTHER NOISE ATTENUATION MEASURES
 - ENSURE CONSTRUCTION VEHICLES AND PLANT/EQUIPMENT ARE TURNED OFF WHEN NOT IN USE (I.E. AVOID IDLING)
- VIBRATION MANAGEMENT**
- USE LOW-VIBRATION EMITTING PLANT & EQUIPMENT WHERE POSSIBLE
 - WHERE PRACTICAL, USE NON-PERCUSSIVE PILING TECHNIQUES OR PROVIDE ACOUSTIC SHIELDING
- DUST CONTROL**
- WHERE POSSIBLE, STAGE ANY VEGETATION REMOVAL TO MINIMISE EXPOSED AREAS
 - AREAS EXPOSED (IN THE SHORT TERM) TO BE STABILISED USING WATERING AND/OR GEO-FABRICS AS APPROPRIATE TO MINIMISE DUST GENERATION
 - MODIFY / REDUCE CONSTRUCTION ACTIVITIES DURING HIGH WIND CONDITIONS IF INCREASED DUST GENERATION IS A POSSIBILITY
 - DUST CONTROL MEASURES TO BE IMPLEMENTED AS THE SITE SUPERVISOR DEEMS APPROPRIATE, INCLUDING WATER CARTS, SPRINKLERS, SPRAYS, DUST SCREENS, ETC
 - CHECK EROSION CONTROL MEASURE REGULARLY TO ENSURE CAPTURED SILT DOES NOT BECOME AIRBORNE
- ODOUR CONTROL**
- SEGREGATE AND COLLECT WASTE REGULARLY TO ENSURE ODOURS ARE MINIMISED
 - NO BURNING-OFF OF WASTE AT ANY TIME
 - REMOVE WASTE BINS FROM SITE REGULARLY

ENVIRONMENTAL SITE MANAGEMENT LAYOUT
Scale: 1 : 200

FOR NOISE CONTROL, VIBRATION MANAGEMENT, DUST CONTROL, ODOUR CONTROL REFER TO NOTES ON THIS DRAWING, FOR OTHER NOTES (LITTER/WASTE, STORMWATER) REFER ESM1

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PROPOSED DEVELOPMENT

680-688 East St & 165 Alexandra St, East Albury, NSW

Brewster Murray Architects



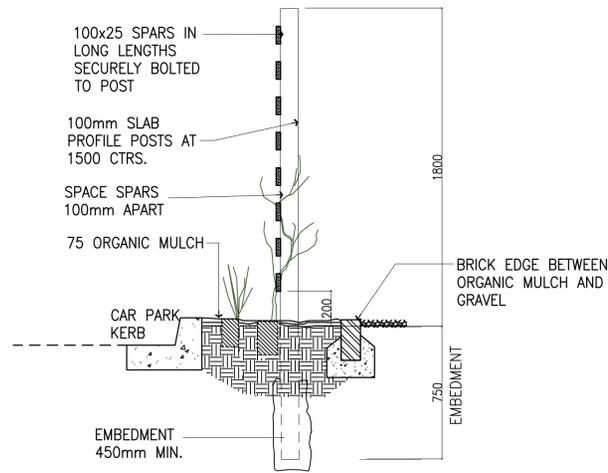
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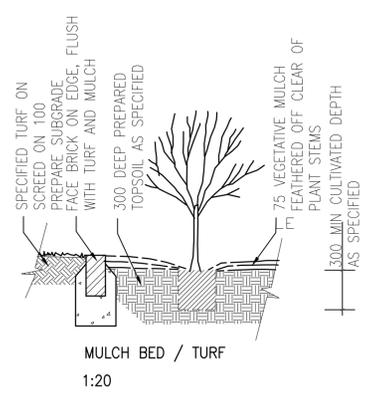
ENVIRONMENTAL SITE MANAGEMENT PLAN



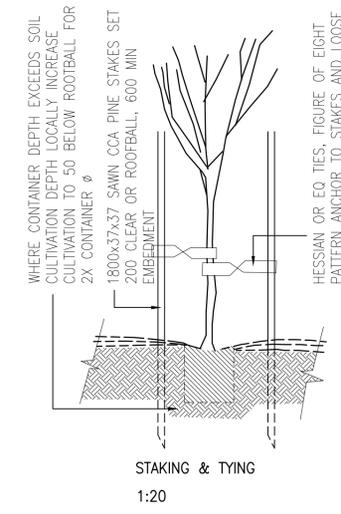
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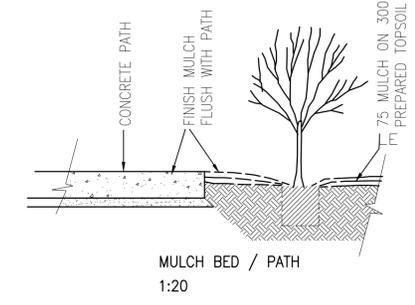
02 SCREEN / TRELLIS SECTION 1:20@A1



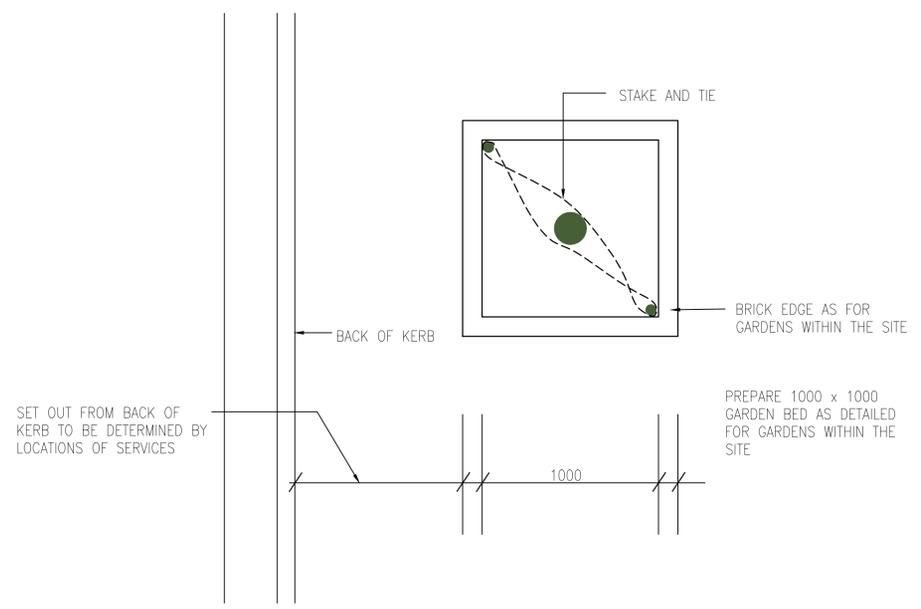
03 LANDSCAPE DETAILS 1:20@A1



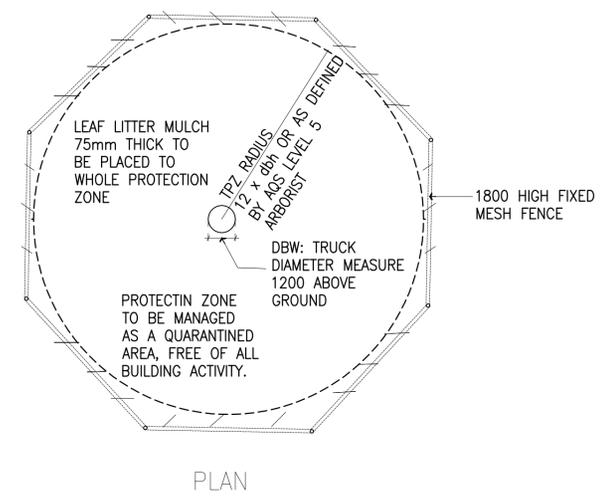
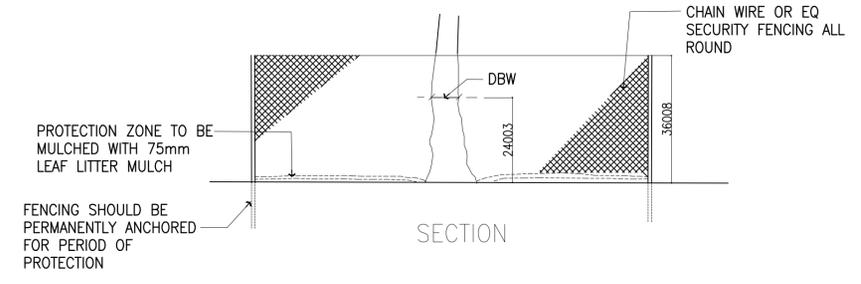
STAKING & TYING 1:20



MULCH BED / PATH 1:20



04 STREET TREE - PLANNING DETAIL 1:20@A1



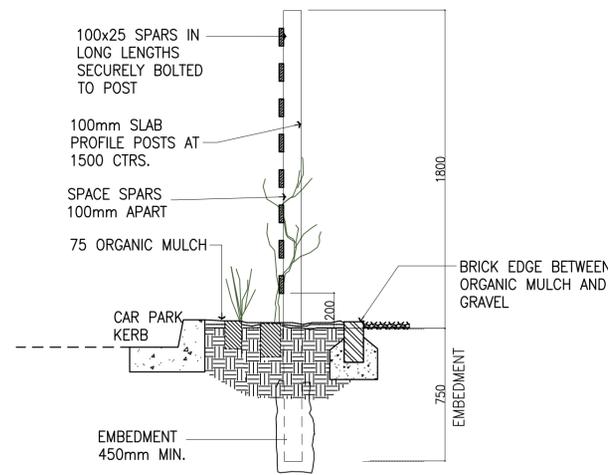
01 TREE PROTECTION ZONE DETAILS 1:20@A1

PROTECTION ZONE DIAMETER TO BE CONFIRMED BY SITE CONSULTING ARBORIST (AQS LEVEL 5)

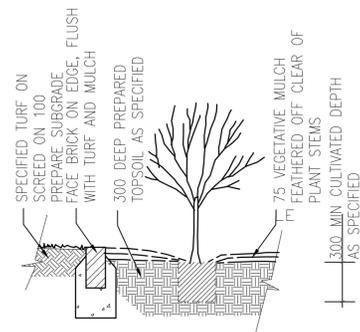


LOCKED BAG 5022
PARRAMATTA NSW 2124
Ph 1800 738 718
www.dpie.nsw.gov.au/land-and-housing-corporation

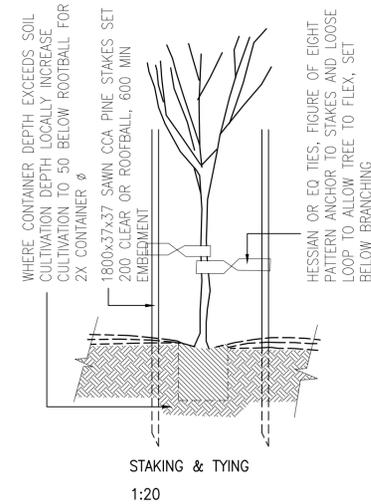
NOMINATED ARCHITECT:	SIGNATURE:	ARCHITECT	CONSULTING ENGINEERS	CLIENT	PROJECT	TITLE	STATUS
		BREWSTER MURRAY PTY LTD	GREENVIEW CONSULTING PTY LTD	NSW PLANNING & ENVIRONMENT LAND & HOUSING CORPORATION	DEVELOPMENT OF 24 UNITS UNDER SEPP HOUSING 2021	LANDSCAPE DETAILS	FOR PART 5
	B 14-03-22 Updated for Part 5				680, 682, 684 & 688 East Street & 165 Alexandra Street, East Albury, NSW	FILE	DATE 14-03-22
	A 29-10-21 Updated for Part 5	BCA CONSULTANT	LANDSCAPE CONSULTANT		LOTS 11, 12, 13, 14 & 15 in DP 243192	PLOTTED	SCALE 1:100
	REV DATE NOTATION/AMENDMENT	CODE CONDUIT	PRECINCT LANDSCAPES				SHEET SIZE A1
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.							DESIGNER TC
							CHECKED TC
							TYPE
							LA02
							PROJECT No. BQXPC
							REV B



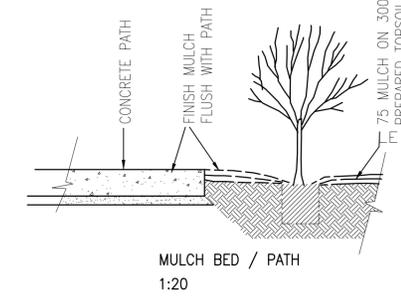
02 SCREEN / TRELLIS SECTION 1:20@A1



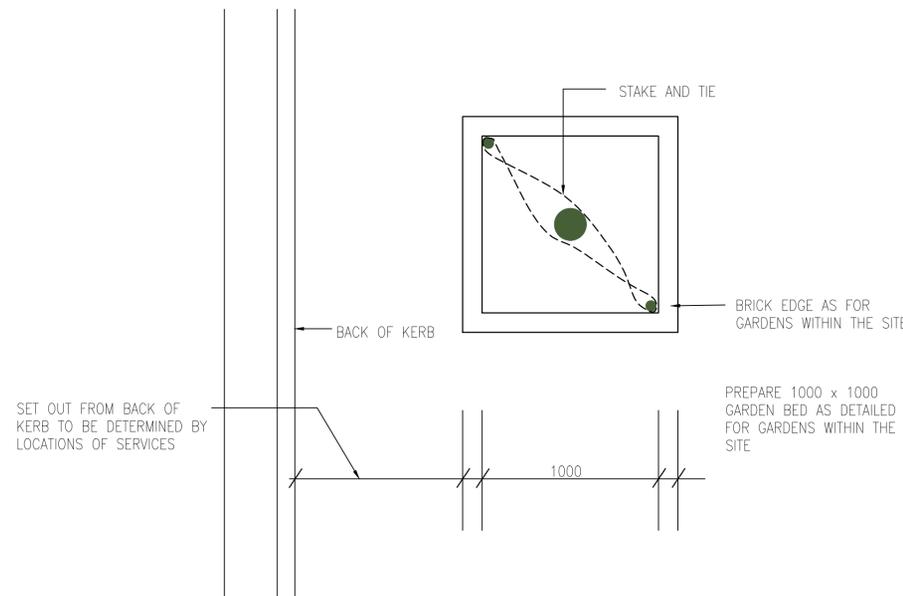
03 LANDSCAPE DETAILS 1:20@A1



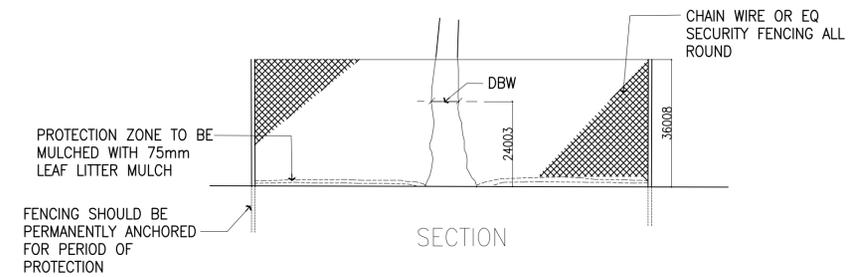
STAKING & TYING 1:20



MULCH BED / PATH 1:20



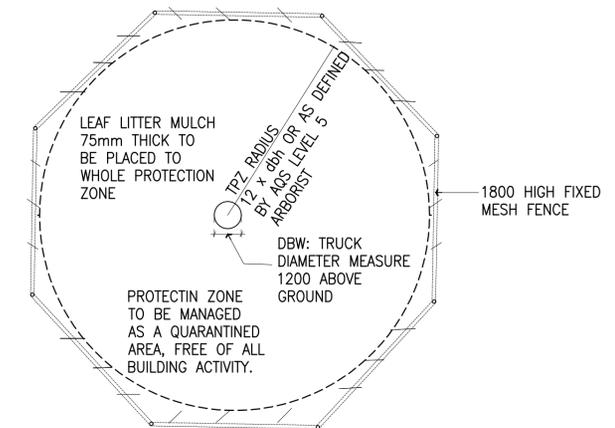
04 STREET TREE - PLANNING DETAIL 1:20@A1



PROTECTION ZONE TO BE MULCHED WITH 75mm LEAF LITTER MULCH

FENCING SHOULD BE PERMANENTLY ANCHORED FOR PERIOD OF PROTECTION

SECTION



PLAN

01 TREE PROTECTION ZONE DETAILS 1:20@A1

PROTECTION ZONE DIAMETER TO BE CONFIRMED BY SITE CONSULTING ARBORIST (AQS LEVEL 5)